

LAKE STREET NE

ACCESS

Pavillion
townhomes
3 story
33 units
1,790 s.f.
Town homes garages- 66 spaces

TOTAL UNITS PER BUILDING			
Building	units	stories	NET avg
Building A	116 units	5 story	900 s.f
Building B	112 units	5 story	1,246 s.f
Building C-Tower	214 units	15 story	765 s.f
Building C-Wrap	175 units	5 story	721 s.f
Building D	187 units	5 story	677 s.f
Townhomes	33 units	3 story	1,790 s.f
Rest./boat house		1 story	
TOTALS	837 units		

Designed by:
Architect of Record: Gregory Faulkner
Date Plotted: 08/07/2022
Issue for Pricing / Bidding:
Issue for Permit Application:
Issue for Construction:
Revisions:
DATE COMMENTS

BUILDING A
5 story
116 units
900 s.f.
PODIUM PARKING - 1 level-75 spaces
Surface parking- 2 spaces
LONG TERM BIKE PARKING- 58 spaces
SHORT TERM BIKE PARKING- 6 spaces

SENIOR COOP
BUILDING B
5 story
112 units
1,246 s.f.
PODIUM PARKING - 2 levels- 184 spaces
LONG TERM BIKE PARKING - 58 spaces
SHORT TERM BIKE PARKING - 6 spaces

CLUBHOUSE - 8,000 (total area)

BUILDING D
5 story
187 units
677 s.f.
PARKING - 5 levels- 277 spaces
LONG TERM BIKE PARKING - 102 spaces
SHORT TERM BIKE PARKING - 10 spaces

BUILDING C
15 story
214 units
765 s.f.
5 story
175 units
721 s.f.

PARKING - 7 levels-520 spaces
LONG TERM BIKE PARKING - 216 spaces
SHORT TERM BIKE PARKING - 25 spaces

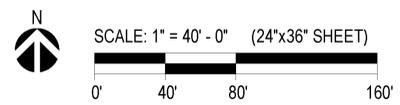
RESTAURANTS-8,900 s.f.

BIKETRAIL

WETLAND

CLUBHOUSE - 3,500 s.f.

CEDAR LAKE REGIONAL TRAIL
SOO LINE RAILROAD



ALATUS

HOPKINS
325 BLAKE ROAD
HOPKINS, MINNESOTA
ALATUS, LLC

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.
5339 ALPHAROAD, SUITE 300, DALLAS, TX 75240
P: (972) 701-9638 F: (972) 701-9639
DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
NEWPORT BEACH, OMAHA, SCOTTSDALE, CHERNOBI, HANOI
LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
www.humphreys.com



SHEET CONTENTS

SHEET NO.

Project Status: (2022)

FILE: M:\2021\21180\Hops\21180-Hops.dwg DATE: 08/07/2022 TIME: 10:00:00 USER: gfaulkner PLOT: 21180-Hops.dwg PLOT DATE: 08/07/2022 PLOT TIME: 10:00:00 PLOT USER: gfaulkner

FILE: M:\02701180\Hops\015 CONCEPT\01 DRAWINGS\Site-16 - Standards\Site-17.dwg LAYOUT: A: 2023/04/27
 SCALE: 1/8" = 40' - 0" (24"x36" SHEET)
 USER: jls
 PLOT: 24x36

BUILDING A 5 story	116 units	900 s.f.
------------------------------	-----------	----------

**PODIUM PARKING - 1 level - 75 garage spaces
 2 surface spaces
 Total: 77 spaces**

BUILDING B 5 story	112 units	1,246 s.f.
------------------------------	-----------	------------

PODIUM PARKING - 2 levels- 184 spaces

BUILDING C 15 story	214 units	765 s.f.
5 story	175 units	721 s.f.

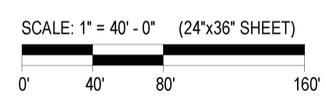
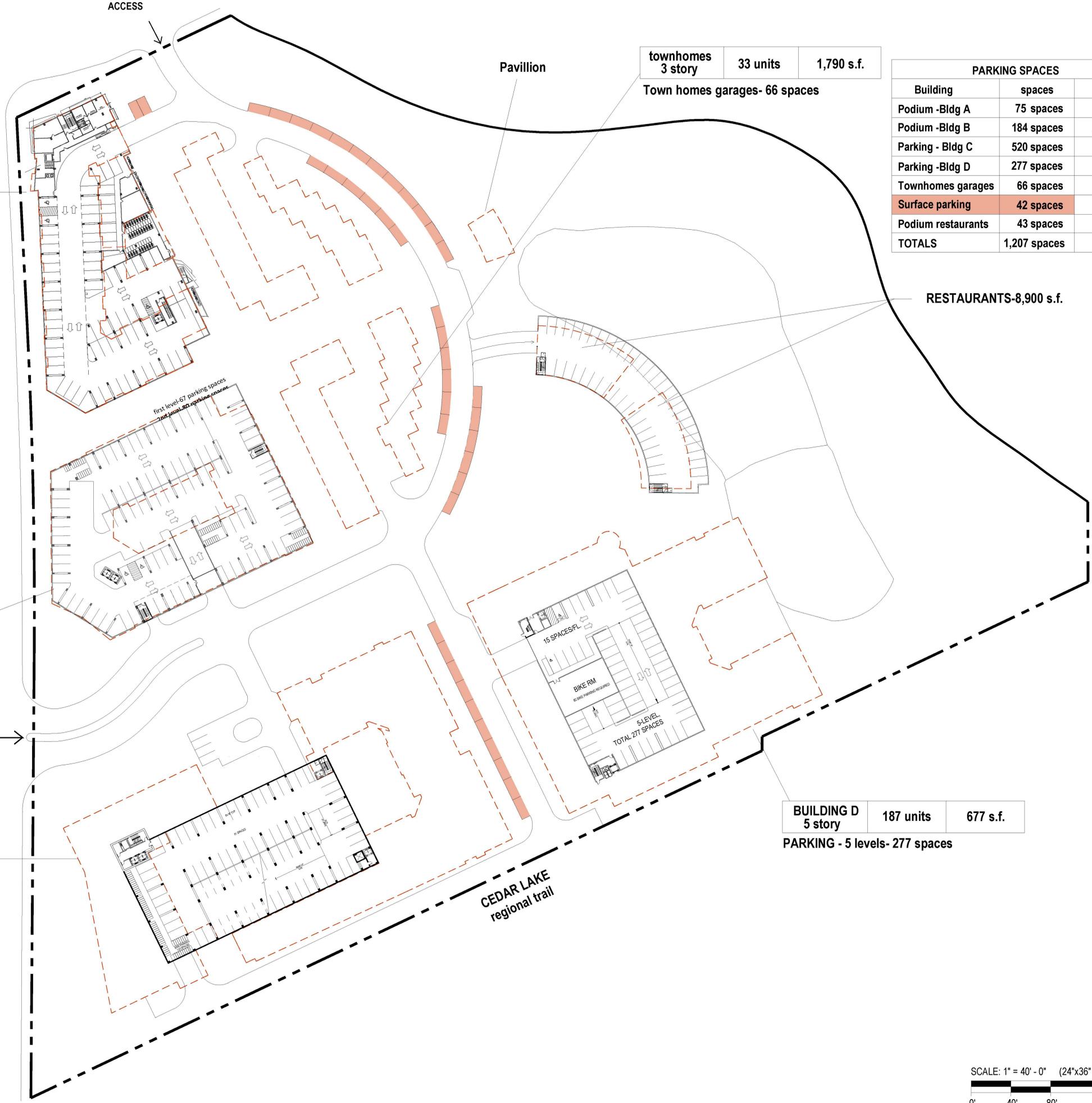
PARKING - 7 levels-520 spaces

townhomes 3 story	33 units	1,790 s.f.
-----------------------------	----------	------------

Town homes garages- 66 spaces

PARKING SPACES		
Building	spaces	levels
Podium -Bldg A	75 spaces	1 level
Podium -Bldg B	184 spaces	2 levels
Parking -Bldg C	520 spaces	6 levels
Parking -Bldg D	277 spaces	5 levels
Townhomes garages	66 spaces	—
Surface parking	42 spaces	—
Podium restaurants	43 spaces	—
TOTALS	1,207 spaces	

RESTAURANTS-8,900 s.f.



Designed by:
 Drawn by:
 Architect of Record: Gregory Faulkner
 Date Plotted: 08/07/2022
 Issue for Pricing / Bidding:
 Issue for Permit Application:
 Issue for Construction:
 Revisions:
 # DATE COMMENTS



HOPKINS
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
ALATUS, LLC

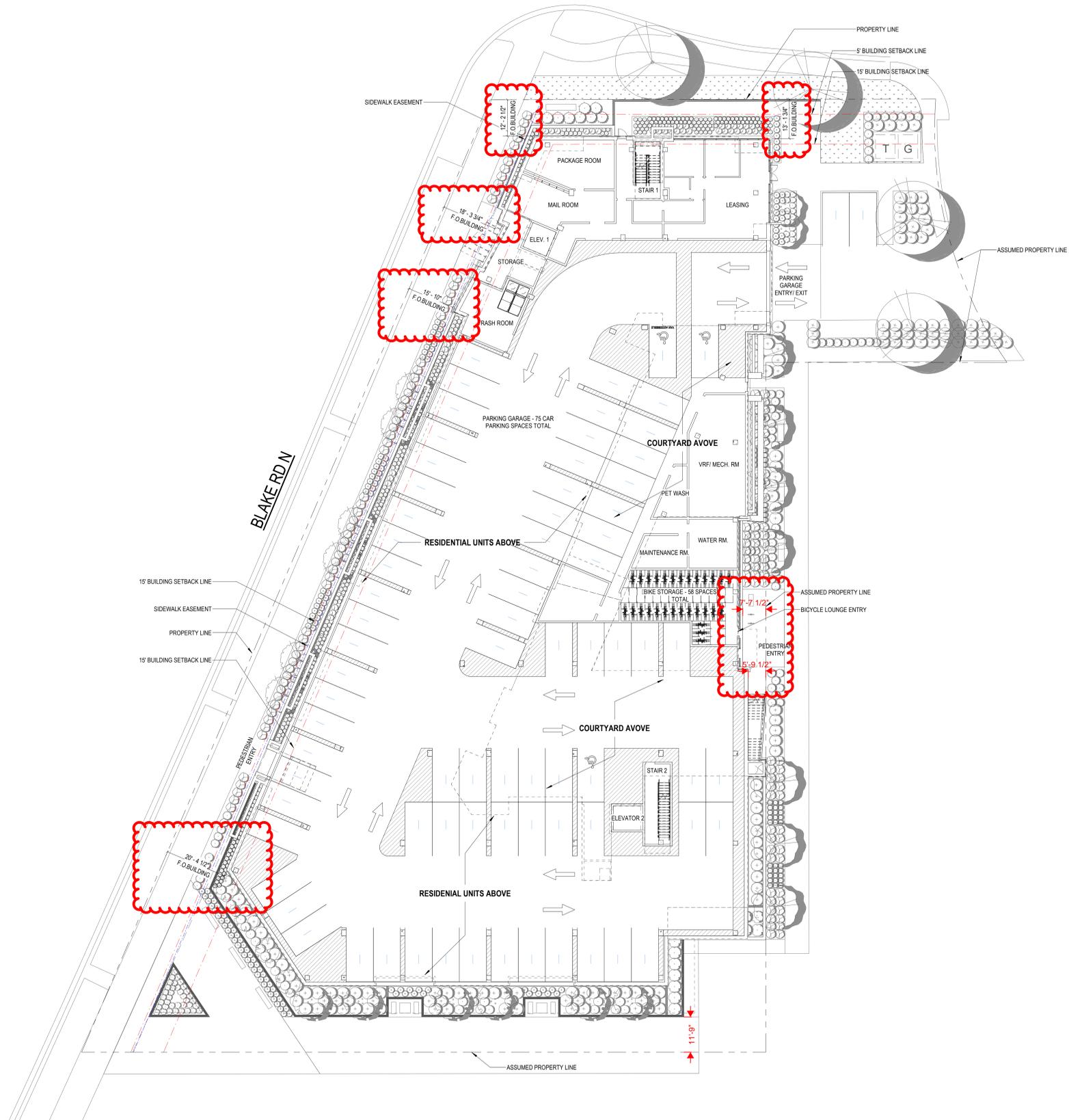
These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 ALPHAROAD, SUITE 300, DALLAS, TX 75240
 P: (972) 701-9638 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OMAHA, SCOTTSDALE, CHERINA, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com



SHEET CONTENTS
 SHEET NO.

Project Status: (2022)



SITE PLAN NOTES

- THIS SITE PLAN IS FOR REFERENCE ONLY - REFER TO CIVIL FOR SITE ELEMENT AND BUILDING POSITION DIMENSIONAL CONTROL.
- REFER TO CIVIL ENGINEERING:
 - CONSTRUCTION DRAWINGS FOR ALL SITE RELATED HANDICAPPED ACCESS ELEMENTS INCLUDING RAMPS AND SIGNAGE. PROVIDE RAMPS, PARKING DESIGNATION, SPACES AND SIGNAGE IN FULL COMPLIANCE WITH ALL APPLICABLE CODES.
 - CONSTRUCTION DOCUMENTS FOR WALK, GRADING AND FINISHED FLOOR ELEVATIONS.
 - DRAWINGS FOR ALL SITE PARKING CONFIGURATIONS AND FOR ALL PUBLIC WALK (DETAILS AND LAYOUTS), SCREENING, AND SIGN LOCATIONS.
- REFER TO LANDSCAPE/ARCHITECT:
 - CONSTRUCTION DOCUMENTS FOR POOL DECK, POOL FENCING AND POOL AREA ENTRY GATE CONFIGURATION.
 - FOR SITE FENCING, GATE LOCATIONS AND DETAILS.
- REFER TO LANDSCAPE/ELECTRICAL CONSTRUCTION DOCUMENTS FOR SCREEN WALL AND LANDSCAPE LIGHTING INFO.
- REFER TO CIVIL/LANDSCAPE DRAWINGS FOR SIDEWALKS AND ACCESSIBLE ROUTE THROUGHOUT SITE.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR CONDENSERS AND ELECTRICAL TRANSFORMER LOCATIONS. DEVELOPMENT AND USE OF THIS SITE MUST CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND UNO.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE-FOOT CANDLE AT THE PROPERTY LINE, UNLESS REQUIRED BY LOCAL ORDINANCE TO BE MORE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY SHALL HAVE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED IN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, GAS METERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCRETE WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- SIDEWALK SLOPES SHALL NOT EXCEED 5%. GROSS SLOPES NOT TO EXCEED 2% (REF. CIVIL) SHOULD SLOPES EXCEED 5% WALK WILL BE CONSIDERED A RAMP AND BE REQUIRED TO HAVE HANDRAILS ON EACH SIDE AS WELL AS LEVEL LANDINGS AT THE TOP AND BOTTOM OF RAMP FOR A DISTANCE OF 60" BEYOND THE EXTENT OF THE RAMP.
- ALL ACCESSIBLE BUILDING ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR INCLUDING AN 18" MANEUVERING CLEARANCE ON PULL SIDE OF DOOR.
- FINISH FREE STANDING UTILITY EQUIPMENT BOXES TO MATCH THE ADJACENT BUILDING FIELD COLOR. DO NOT PAINT OVER WARNING DECALS OR IDENTIFIERS.
- NO EXPOSED CONDUIT, PIPING, ETC. IS ALLOWED ON THE EXTERIOR FACE OF THE BUILDING. PROVIDE METAL CONDUIT COVER FOR ELECTRIC METER FEED LINES. PAINT TO MATCH ADJACENT BUILDING FIELD COLOR.
- REFER TO SHEET AND/OR PARKING TABULATIONS.
- EXPANSION JOINTS AT CONCRETE DRIVES ARE TO BE LOCATED EVERY 28 TO 30 FEET ON CENTER IN ALL DIRECTIONS OR AS INDICATED BY CIVIL ENGINEER.
- PROVIDE 18" MANEUVERING CLEARANCE ON PULL SIDE OF ALL PEDESTRIAN GATES. MAINTAIN GROUND SLOPE AT 2%.
- A 42" HIGH GUARDRAIL, MEASURED FROM FINISH FLOOR OF WALKING SURFACE, SHALL BE PLACED ALONG WALKING SURFACE MORE THAN 30' ABOVE THE ADJACENT GRADING.

FIRE DEPARTMENT NOTES

- WHERE REQUIRED BY CODE, BUILDINGS ARE TO BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM PER NFPA 13 OR 13R.
- WHERE REQUIRED BY CODE, STANDPIPES TO BE PROVIDED AT EACH FLOOR IN ORDER TO MAINTAIN MAXIMUM 150' DISTANCE FROM ANY POINT IN A BUILDING TO NEAREST FIRE DEPT. HOSE CONNECTIONS.
- FIRE APPARATUS ACCESS IS REQUIRED TO BE UNOBSTRUCTED, NOT LESS THAN 24" IN WIDTH, 14' CLEAR HEIGHT. NO FIXED OR MOVING GATE SECTION SHALL INTERFERE WITH MINIMUM FIRE DEPT. ACCESS WIDTH, TURNING RADIUS OR OTHERWISE IMPEDE APPARATUS MOVEMENT OR USE OF FIRE HYDRANTS ETC.
- CENTRAL STATION MONITORING (OR THIRD PARTY MONITORING AS APPROVED BY FIRE DEPARTMENT) OF THE SPRINKLER SYSTEM IS REQUIRED PER FIRE CODE. FIRE DEPARTMENT CONNECTION FOR A BUILDING'S SPRINKLER SYSTEM IS TO COMPLY WITH ALL APPLICABLE CODES.
- FIRE LANE STRIPING, PLACES, AND OR SIGNAGE SHALL MEET LOCAL FIRE DEPARTMENT REQUIREMENTS.
- FIRE DEPARTMENT CONNECTION TO BE ADJACENT TO FIRE SPRINKLER RISER ROOM OR AS LOCATED BY CIVIL.
- FIRE LANE STRIPING TO MATCH SHERWIN WILLIAMS COLOR SW 2839 ROY/CROFT COPPER RED OR SW 7582 SALLUTE.
- FIRE DEPARTMENT APPROVED SECURED KEY BOX SHALL BE PROVIDED AT THE MAIN GATES AND AREAS WHERE REQUIRED BY THE FIRE DEPARTMENT. CONTRACTOR TO CONFIRM NUMBER AND LOCATIONS WITH LOCAL FIRE INSPECTOR PRIOR TO INSTALLATION.

SITE PLAN - SYMBOL LEGEND

	SETBACK LINE		ACCESSIBLE PARKING SPACE
	ACCESSIBLE ROUTE		VAN ACCESSIBLE SPACE
	PROPERTY LINE		MIRRORED BUILDING CONDITION REFER TO PLAN SHEETS A4.00s.
	SIDEWALK EASEMENT		ACCESSIBLE ENTRY IN ACCESSIBLE EXIT
	LANDSCAPE BUFFER LINE		PHASE II / NOT IN CONTRACT
	ASSUMED PROPERTY LINE		FIRELANE - SEGMENTED STRIPE TO BE PAINTED SW 7582 ON HORIZONTAL SURFACE NEXT TO CURB - REF TO CIVIL
	FIRE SEPARATION DISTANCE		TRANSFORMER
	BUILDING TYPE		CONDENSER
	BUILDING NUMBER		
	PARKING SPACES PER BAY		
	TYPE 'A' ANSI UNIT		

2 SITE PLAN
1/16" = 1'-0"

Designed by: **Author**
 Drawn by: **RYAN MCLEAN**
 Architect of Record: **RYAN MCLEAN**
 Date Plotted: 6/13/2022 2:08:11 PM

Issue for Pricing / Bidding:
 Issue for Permit Application:
 Issue for Construction:

Revisions

#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P. All Rights Reserved.
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawing is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

ALATUS

325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

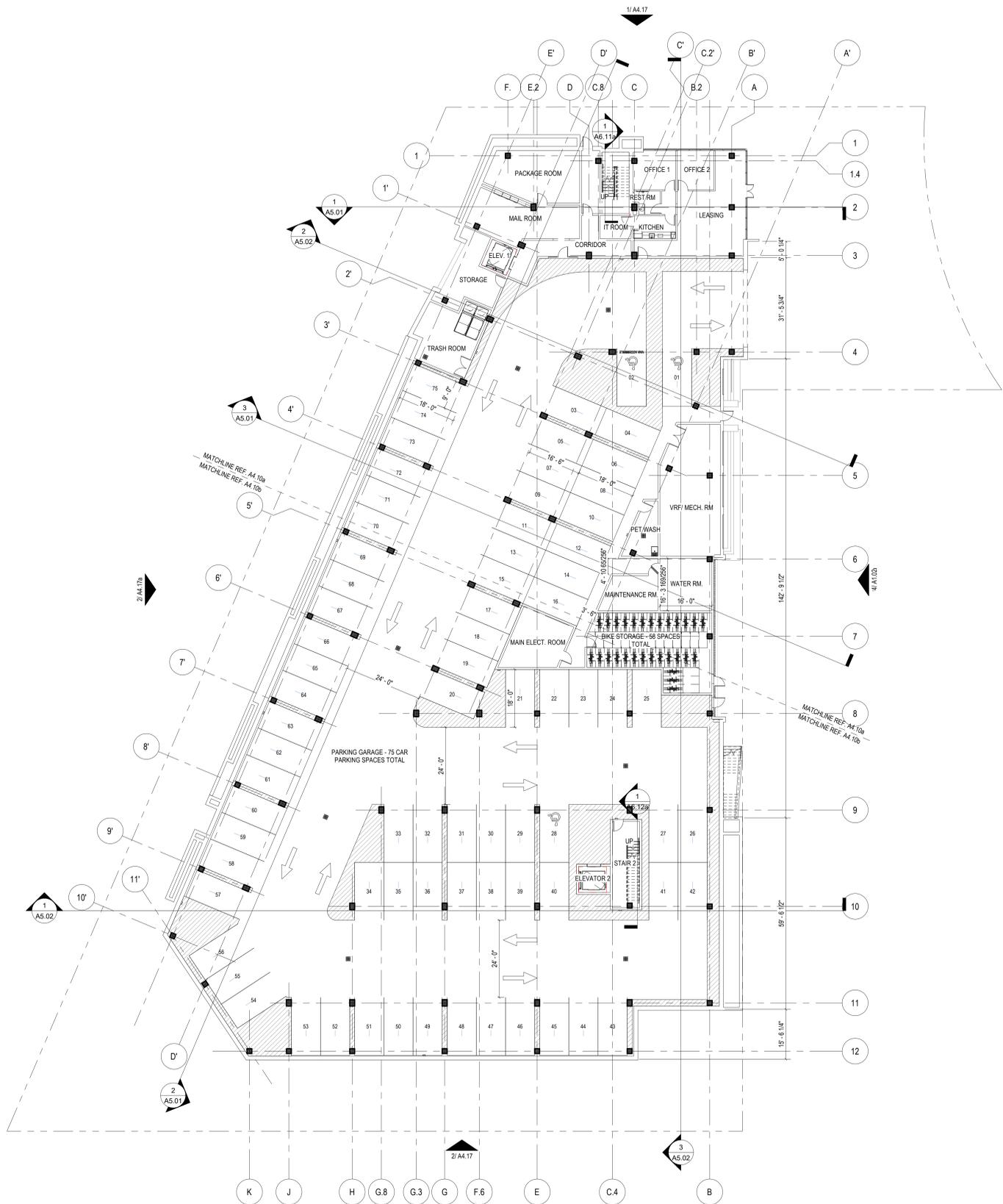
These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5330 ALPHEA ROAD, SUITE 300, DALLAS, TX 75240
 P: (972) 701-9636 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK, NEWPORT BEACH, OMAHA, SCOTTSDALE, CHENNAI, HANOI, LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com

DESIGN DEVELOPMENT SET (06/03/2022)

SHEET CONTENTS
 ARCHITECTURAL SITE PLAN

SHEET NO.
A1.01
 21180



1 LEVEL P-1 - OVERALL FLOOR PLAN
1/16" = 1'-0"

ROOF NOTES

- NOTE:
- FOR LOW SLOPE ROOFS, SLOPES ARE TO BE MIN 1/4" PER FOOT, U.N.O.
 - PARAPET DIMENSIONS ARE FROM TOP OF PLATE TO TOP OF PARAPET.
 - GUTTERS AND DOWNSPOUTS TO BE PROVIDED AT ALL EAVES.
 - ALL ROOF DRAINS / DOWNSPOUTS ON EXTERIOR WALLS TO CONNECT DIRECTLY TO STORM WATER SYSTEM.
 - ALL DOWNSPOUTS ON STAIRS AND ELEVATOR TOWER OR ANY NOT CONNECTED DIRECTLY TO STORM WATER SYSTEM TO HAVE LEADERS AND SPLASH BLOCKS.
 - DOWNSPOUT LOCATIONS ARE CONCEPTUAL IN NATURE AND MUST BE COORDINATED BY THE CONTRACTOR ON SITE WITH THE LANDSCAPING, RETAINING WALL, SIDEWALKS, AND INDIVIDUAL BUILDING ORIENTATION AND DRAINAGE TO INSURE THAT OUTFLOW FROM DOWNSPOUTS DOES NOT CROSS WALKING OR DRIVING SURFACES. IT IS THE INTENT OF THE ARCHITECT THAT GUTTER DOWNSPOUTS TERMINATE IN UNDERGROUND DRAINAGE PIPING AND CARRIED AWAY FROM THE BUILDING AND OTHER FINISHED SURFACES WHERE POSSIBLE. LOCATE DOWNSPOUTS AT INTERIOR CORNERS WHEN POSSIBLE.
 - DRAFTSTOPS LOCATED PER 2012 IBC, SECTION 718.4 ATTIC DRAFTSTOPS SHALL BE 1/2" GYPSUM OR PLYWOOD SHEATHING FIT SNUG TO THE ROOF DECK AND CEILING BELOW. DRAFTSTOPS SHALL NOT EXCEED 3,000 S.F. OR 2 DWELLING UNITS.
 &OR
 DRAFTSTOPPING IS NOT REQUIRED PER 2018 IBC, SECTIONS 718.4.2 EX.2 IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 &OR
 DRAFTSTOPPING IS NOT REQUIRED PER 2018 IBC, SECTIONS 718.4.2 EX.4 IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.2, PROVIDED THAT AUTOMATIC SPRINKLERS ARE ALSO INSTALLED IN THE COMBUSTIBLE CONCEALED SPACES WHERE THE DRAFTSTOPPING IS BEING OMITTED.
 - ALL ROOF AND FLOOR TRUSSES SHALL BE DESIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF PROJECT. TRUSS SHOP DRAWINGS SHALL BE AVAILABLE AT THE JOBSITE.
 REFER TO STRUCTURAL DRAWINGS FOR ROOF FRAMING PLANS AND SPECS.
 PLATE AND TRUSS HEEL HEIGHTS ARE FOR DESIGN INTENT ONLY. TRUSS MANUFACTURER TO VERIFY.
 11. REFER TO STRUCTURAL DRAWINGS AND TRUSS FABRICATION DRAWINGS FOR EXACT PLATE AND HEEL HEIGHTS.
 12. PROVIDE WALKWAY PADS TO AND AROUND ALL ROOFTOP MECHANICAL EQUIPMENT.
 13. PROVIDE MIN. CLEARANCE TO ADJACENT EQUIPMENT, WALLS OR CURBS AT MECHANICAL, ROOFTOP EQUIPMENT AND PENETRATIONS AS REQUIRED BY EQUIPMENT MANUFACTURER (BUT NOT LESS THAN 24").
 14. ATTIC ACCESS PANELS TO BE 22" X 30" WITH A 30" VERTICAL CLEARANCE, U.N.O. REF. 19A7.03.
 15. PROVIDE ICE AND SNOW DAM PROTECTION W/3 MIL. PEEL AND STICK ELASTOMER MEMBRANE AT VALLEYS, EAVES (36" MIN WIDTH OVER HEATED AREA) AND SHED ROOFS.
 16. PROVIDE ONE DEPTH MARKER EVERY 300 SQ. FT. IN ATTIC AREAS RECEIVING BLOWN INSULATION. MARKERS SHALL BE CLEARLY READABLE FROM THE ATTIC ACCESS PER CITY OF WILSTON REQUIREMENTS.

ROOF PLAN - SYMBOL LEGEND

	DRAFTSTOP		14-12" X 14-12" GRAVITY ROOF VENT, 144 SQ. IN. NET FREE AREA BASIS OF DESIGN
	ROOF SIDE WALL		AIR VENT B-144 ROOF VENT - REF. 19A7.03
	2-HR FIRE BARRIER		INTAKE ROOF VENT BASIS OF DESIGN - ACTIVE VENTILATION PROD., INC. PV-14 144 SQ. IN. NET FREE AREA
	2-HR FIRE WALL		EXHAUST ROOF VENT BASIS OF DESIGN - ACTIVE VENTILATION PROD., INC. AV-14 144 SQ. IN. NET FREE AREA
	NO PENETRATIONS 4'-0" ON EITHER SIDE OF SHEATHING FT. SNUG TO THE ROOF DECK AND CEILING BELOW		24" X 18" INTAKE GABLE VENT, BASIS OF DESIGN - CONSTRUCTION METALS, INC. GALVANIZED MESH: 190 SQ. IN. NET FREE AREA
	12'-0" RAISED CEILING LOCATIONS 3/12 PITCH VAULTED CEILING LOCATIONS		24" X 18" INTAKE GABLE VENT, BASIS OF DESIGN - CONSTRUCTION METALS, INC. GALVANIZED MESH: 190 SQ. IN. NET FREE AREA
	ICE DAM SHIELD		CHAGIN FLAT CONCRETE TILE ROOF VENT #50043 EACH UNIT EQUALS 118 SQ. IN. NEVA
	22" X 30" LOCKABLE ATTIC ACCESS, REF. DET. 19A7.03		ROOFTOP CONDENSING UNIT ON CONDENSING PADS, AS SPECIFIED, REF. MECH. MAINTAIN 24" CLEAR SPACE AROUND PERIMETER OF UNITS
	ATTIC DRAFTSTOP ACCESS DOOR, REF. 19A7.07		4" ROOF DRAIN WITH OVERFLOW REF. MEP
	48" X 96" BILCO 2-HR RATED LOCKABLE ROOF HATCH WITH LAPEYRE 68" ALTERNATING TREAD DEVICE, REF. 19A7.07		OVF-S OVERFLOW SCUPPER
	PARAPET		5" X 5" GUTTER
	PARAPET HT. X'-X" PARAPET HEIGHT FROM TOP OF PLATE		4" DOWNSPOUT (DS)
	1/4" FT. X 12 SLOPE DIRECTION		4" X 4" LEADER WITH COLLECTOR HEAD
	RIDGE VENT 12" WIDE BASIS OF DESIGN AIR VENT, INC. SHINGLE VENT 8, 18 SQ. IN. / FT. NET FREE AREA		WALL SECTION TAG
	CONTINUOUS SOFFIT VENT BASIS OF DESIGN 1/4" X 1/4" GIBBS/WW 12.7 SQ. IN. PER LINEAR FOOT		EXTERIOR ELEVATION TAG

BLDG - KEY PLAN



Designed by: _____ Author
 Drawn by: RYAN MCLEAN
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/13/2022 1:52:16 PM

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions	#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P. All Rights Reserved
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be reproduced or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

ALATUS

325 BLAKE RD N - BUILDING A

325 BLAKE ROAD
 HOPKINS, MINNESOTA

ALATUS, LLC

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.

5339 ALPHA ROAD, SUITE 300, DALLAS, TX 75240
 P: (972) 701-9636 F: (972) 701-9639

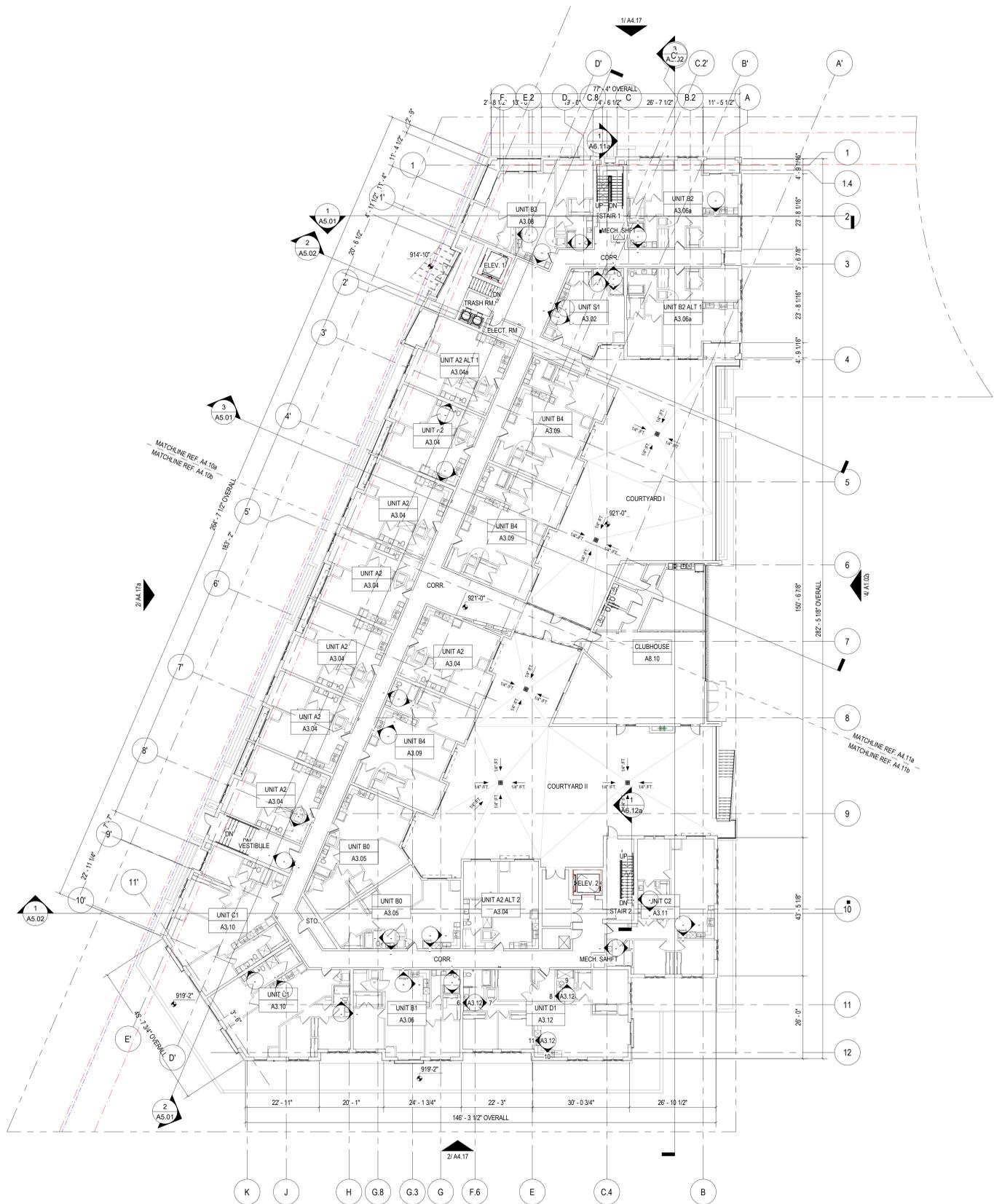
DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OMAHA, SCOTTSDALE, CHENNAI, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com

DESIGN DEVELOPMENT SET (06/03/2022)

SHEET CONTENTS
 OVERALL FLOOR PLAN - LEVEL P-1

SHEET NO. **A4.10**

21180



1 LEVEL 1 - OVERALL FLOOR PLAN
1/16" = 1'-0"

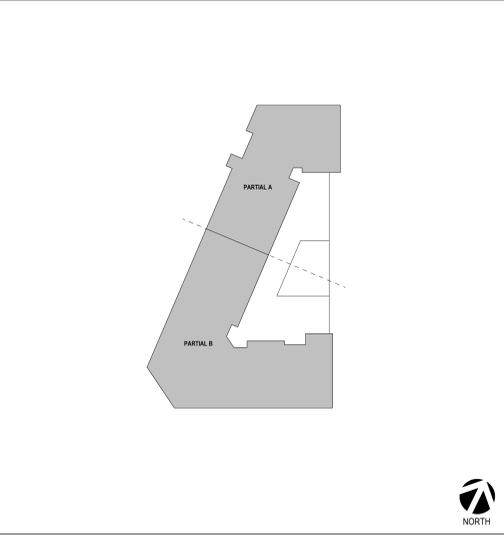
GENERAL BLDG NOTES

- PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
- ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
- ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND 1A8.016 FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
- NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
- ALL DOORS ARE 4" FROM ADJACENT WALL U/I/O.
- FOR UNIT INTERIOR WALL TYPES REFER TO A300a UNIT SHEETS.
- METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP AND TELECOM PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
- REFER TO EGRESS PLANS FIRE EXTINGUISHER SCHEDULE.
- SPACE CONTROL JOINTS IN GYPSUM WALL BOARD TO LIMIT EXPANSION TO 30'-0" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 2,500 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 50'-0" IN EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FURRING, OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21'-0" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.
- REFER TO SHEET A4.XX FOR ROOF NOTES AND LEGENDS.
- REFER TO ROOF PLAN LEGEND ON SHEET A4.16 FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		CMU WALL
	WALL SECTION TAG		3HR FIRE WALL
	DETAIL SECTION TAG		2HR FIRE WALL
	PARTITION WALL TAG REF A1.05		2HR FIRE BARRIER
	FURRDOWN		1HR FIRE BARRIER
	TYPE 'A' UNITS		1HR FIRE PARTITION AT UNIT SEPARATION
	HEARING AND VISION IMPAIRED UNITS		1HR FIRE PARTITION AT CORRIDORS
	BUILDING UNDER SEPARATE PERMIT		ASSUMED PROPERTY LINE
	METER		3/4" BRICK / STONE LEDGE
	FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP		BUILDING NUMBER
	FEC		UNIT TYPE
	DOOR TAG SYMBOL		SHEET NUMBER
	WINDOW TAG SYMBOL		ADDRESS NUMBER
			FINISH FLOOR ELEVATION REFER TO CIVIL
			ENTRANCE DOOR MANEUVERING CLEARANCE

BLDG - KEY PLAN



Designed by: _____ Author
 Drawn by: RYAN MCLEAN
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/13/2022 1:52:22 PM

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions	#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P. All Rights Reserved.
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

ALATUS
 325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

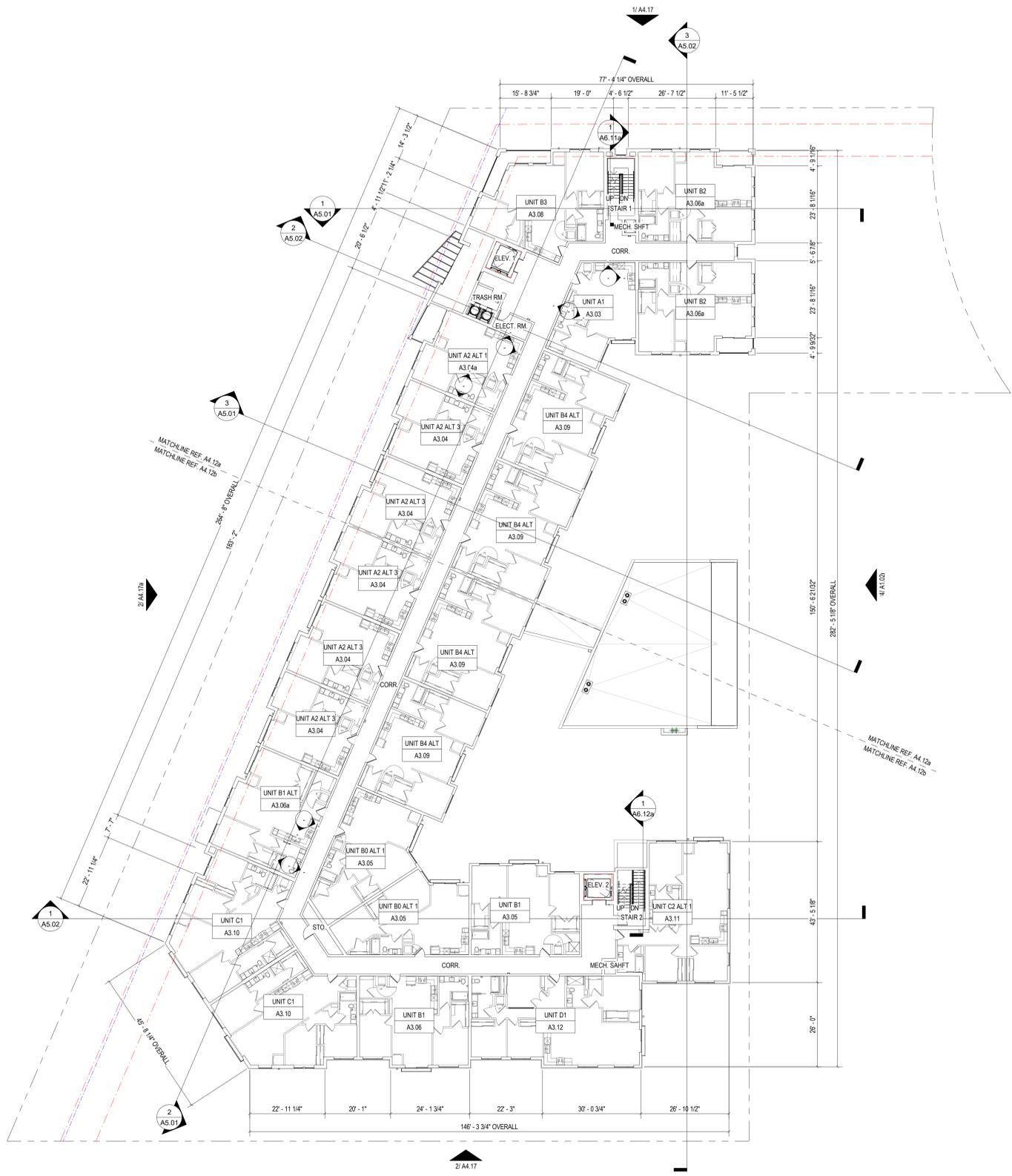
HUMPHREYS & PARTNERS
 ARCHITECTS, L.P.
 5330 ALPHA ROAD, SUITE 300 - DALLAS, TX 75240
 P: (972) 701-9636 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OAKLAND, SCOTTSDALE, CHENNAI, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com

DESIGN DEVELOPMENT SET (06/03/2022)

SHEET CONTENTS
 OVERALL FLOOR PLAN - LEVEL 1

SHEET NO.
A4.11

21180



1 LEVEL 2 - OVERALL FLOOR PLAN
1/16" = 1'-0"

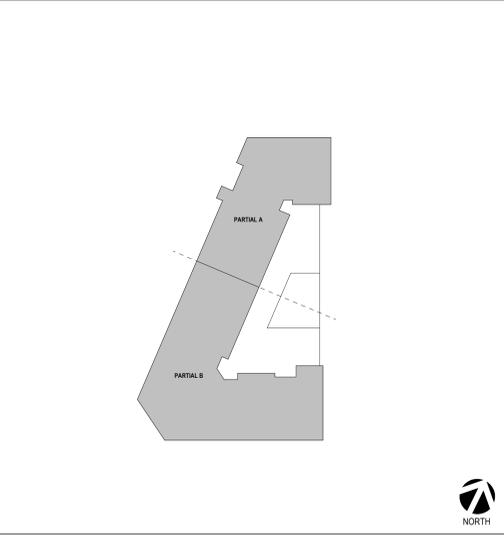
GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND 1A8.01a FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
4. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.06a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
5. ALL DOORS ARE 4" FROM ADJACENT WALL U/I/O.
6. FOR UNIT INTERIOR WALL TYPES REFER TO A300a UNIT SHEETS.
7. METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP AND TELECOM PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
8. REFER TO EGRESS PLANS FIRE EXTINGUISHER SCHEDULE.
9. SPACE CONTROL JOINTS IN GYPSUM WALL BOARD TO LIMIT EXPANSION TO 30'-0" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 2,500 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 50'-0" IN EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FURRING, OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
10. WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21'-0" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.
11. REFER TO SHEET A4.XX FOR ROOF NOTES AND LEGENDS.
12. REFER TO ROOF PLAN LEGEND ON SHEET A4.16 FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		CMU WALL
	WALL SECTION TAG		3HR FIRE WALL
	DETAIL SECTION TAG		2HR FIRE WALL
	PARTITION WALL TAG REF A1.05		2HR FIRE BARRIER
	FURRDOWN		1HR FIRE BARRIER
	TYPE 'A' UNITS		1HR FIRE PARTITION AT UNIT SEPARATION
	HEARING AND VISION IMPAIRED UNITS		1HR FIRE PARTITION AT CORRIDORS
	BUILDING UNDER SEPARATE PERMIT		ASSUMED PROPERTY LINE
	METER		3/4" BRICK / STONE LEDGE
	FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP		BUILDING NUMBER
	FEC		UNIT TYPE
	DOOR TAG SYMBOL		SHEET NUMBER
	WINDOW TAG SYMBOL		ADDRESS NUMBER
			FINISH FLOOR ELEVATION REFER TO CIVIL
			ENTRANCE DOOR MANEUVERING CLEARANCE

BLDG - KEY PLAN



Designed by: _____ Author
 Drawn by: RYAN MCLEAN
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/13/2022 1:52:27 PM
 Issue for Pricing/Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____
 Revisions:

#	DATE	COMMENTS

 © 2022 by Humphreys & Partners Architects, L.P.
 All Rights Reserved
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

ALATUS
 325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 ALPHA ROAD, SUITE 300, DALLAS, TX 75240
 P: (972) 701-9636 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OAKLAND, SCOTTSDALE, CHENNAI, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com

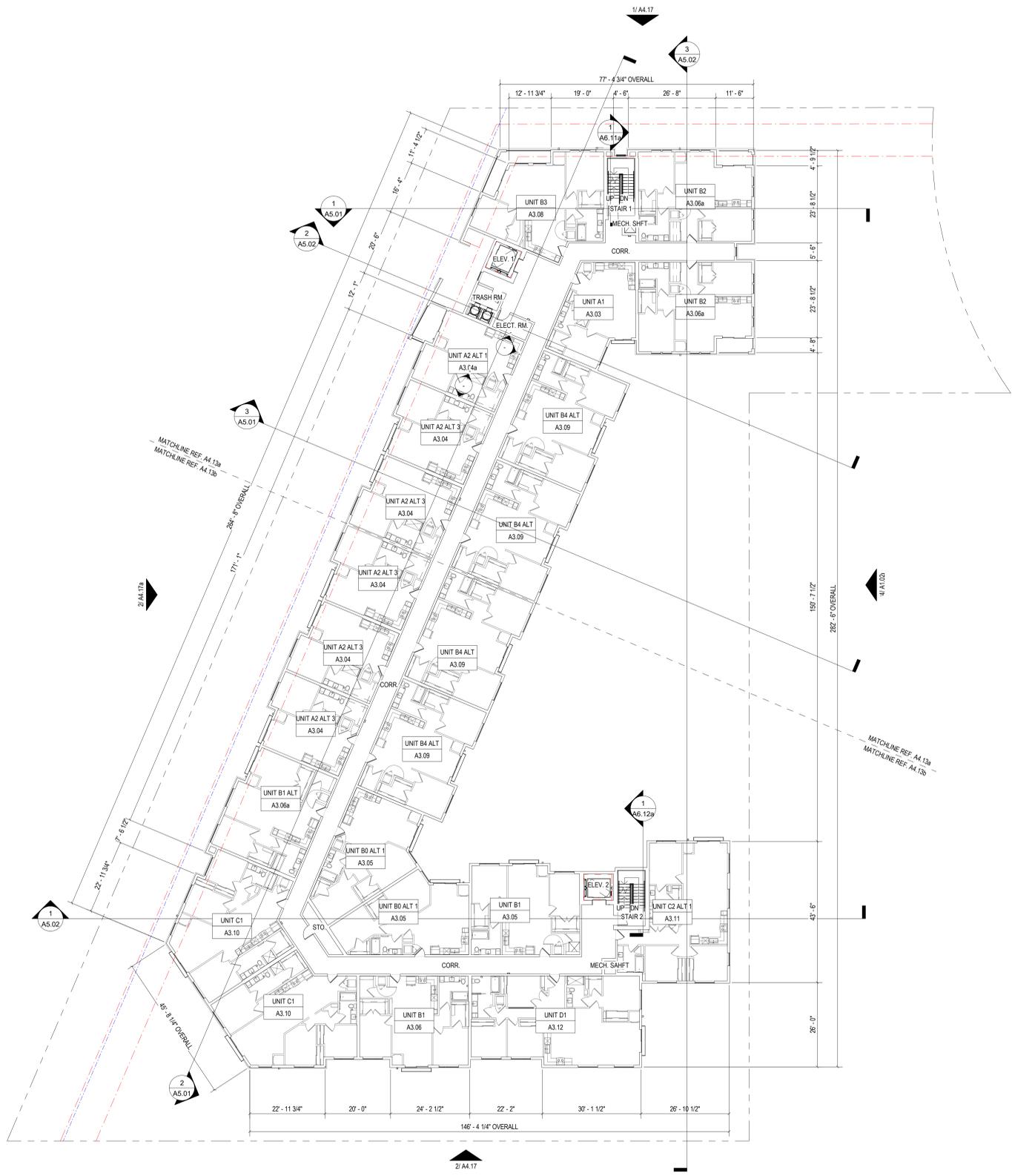
DESIGN DEVELOPMENT SET (06/03/2022)

SHEET CONTENTS
 OVERALL FLOOR PLAN - LEVEL 2

SHEET NO.

A4.12

21180



1 LEVEL 3 - OVERALL FLOOR PLAN
1/16" = 1'-0"

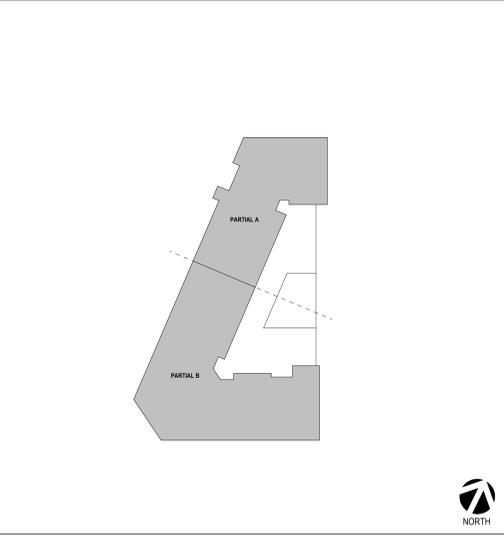
GENERAL BLDG NOTES

- PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
- ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
- ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND 1/A8.01a FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
- NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
- ALL DOORS ARE 4" FROM ADJACENT WALL U/I/O.
- FOR UNIT INTERIOR WALL TYPES REFER TO A300a UNIT SHEETS.
- METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP AND TELECOM PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
- REFER TO EGRESS PLANS FIRE EXTINGUISHER SCHEDULE.
- SPACE CONTROL JOINTS IN GYPSUM WALL BOARD TO LIMIT EXPANSION TO 30'-0" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 2,500 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 50'-0" IN EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FURRING, OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21'-0" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.
- REFER TO SHEET A4.XX FOR ROOF NOTES AND LEGENDS.
- REFER TO ROOF PLAN LEGEND ON SHEET A4.16 FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		CMU WALL
	WALL SECTION TAG		3HR FIRE WALL
	DETAIL SECTION TAG		2HR FIRE WALL
	PARTITION WALL TAG REF A1.05		2HR FIRE BARRIER
	FURRDOWN		1HR FIRE BARRIER
	TYPE 'A' UNITS		1HR FIRE PARTITION AT UNIT SEPARATION
	HEARING AND VISION IMPAIRED UNITS		1HR FIRE PARTITION AT CORRIDORS
	BUILDING UNDER SEPARATE PERMIT		ASSUMED PROPERTY LINE
	METER		3/2" BRICK / STONE LEDGE
	FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP		BUILDING NUMBER
	FEC		UNIT TYPE
	DOOR TAG SYMBOL		SHEET NUMBER
	WINDOW TAG SYMBOL		ADDRESS NUMBER
			FINISH FLOOR ELEVATION REFER TO CIVIL
			ENTRANCE DOOR MANEUVERING CLEARANCE

BLDG - KEY PLAN



Designed by: NJ
 Drawn by: NP
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/13/2022 1:52:32 PM
 Issue for Pricing/Bidding:
 Issue for Permit Application:
 Issue for Construction:
 Revisions:

#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P.
 All Rights Reserved
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

ALATUS
 325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS
 ARCHITECTS, L.P.
 5339 ALPHA ROAD, SUITE 300, DALLAS, TX 75240
 P: (972) 701-9636 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OAKLAND, SCOTTSDALE, CHENNAI, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com

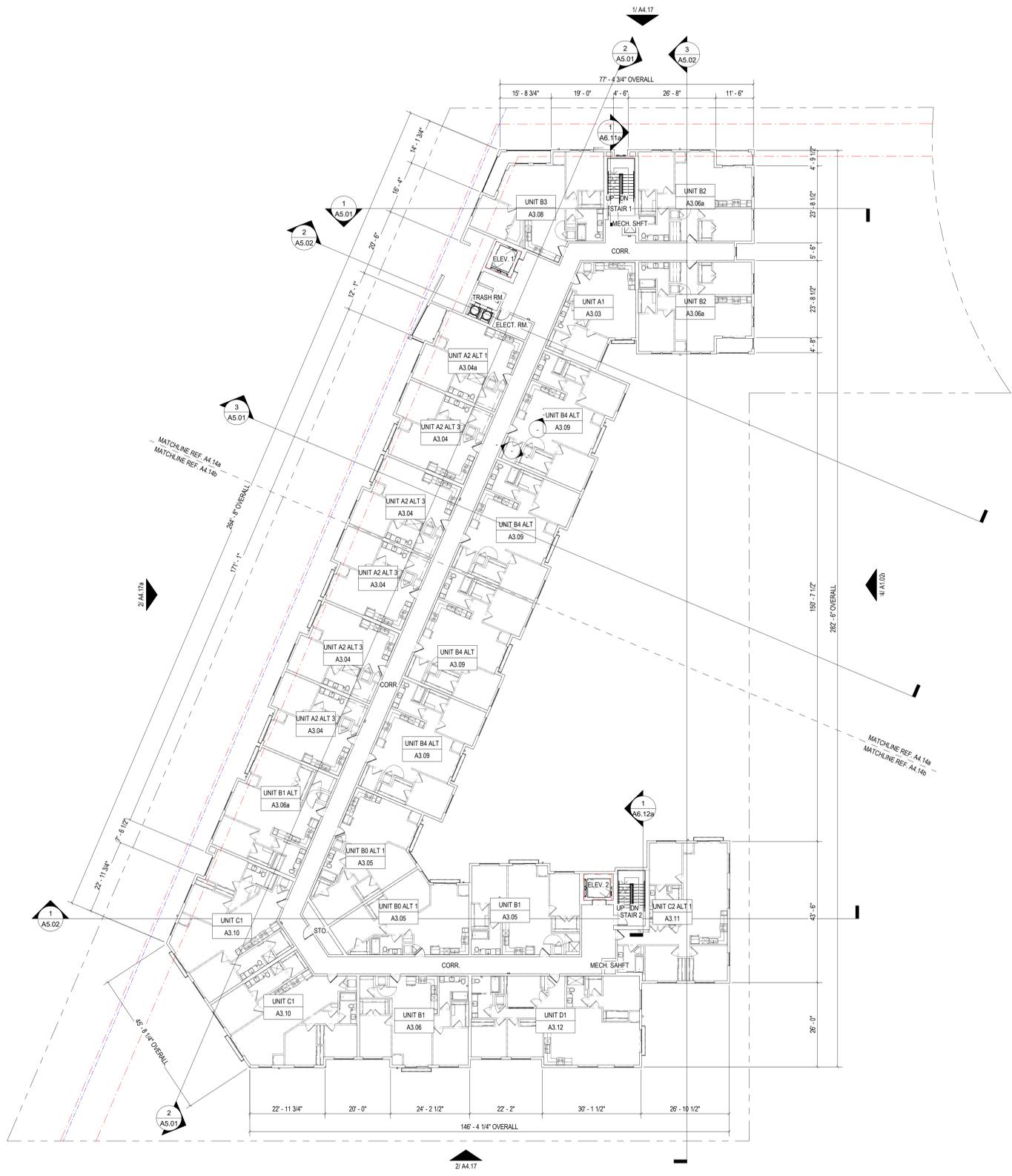
DESIGN DEVELOPMENT SET (06/03/2022)

SHEET CONTENTS
 OVERALL FLOOR PLAN - LEVEL 3

SHEET NO.

A4.13

21180



1 LEVEL 4 - OVERALL FLOOR PLAN
1/16" = 1'-0"

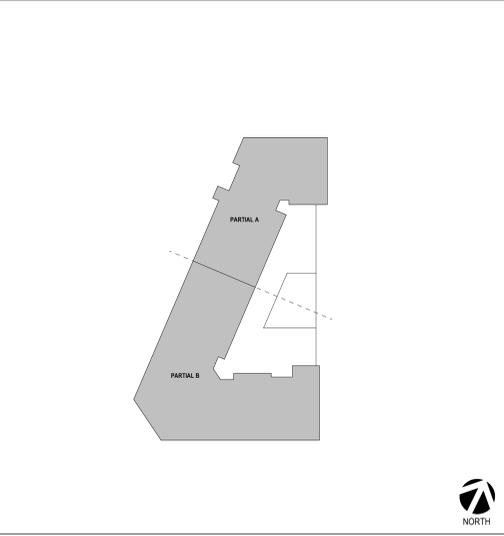
GENERAL BLDG NOTES

- PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
- ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
- ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND A8.01a FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
- NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
- ALL DOORS ARE 4" FROM ADJACENT WALL U/I/O.
- FOR UNIT INTERIOR WALL TYPES REFER TO A300a UNIT SHEETS.
- METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP AND TELECOM PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
- REFER TO EGRESS PLANS FIRE EXTINGUISHER SCHEDULE.
- SPACE CONTROL JOINTS IN GYPSUM WALL BOARD TO LIMIT EXPANSION TO 30'-0" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 2,500 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 50'-0" IN EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FURRING, OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21'-0" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.
- REFER TO SHEET A4.XX FOR ROOF NOTES AND LEGENDS.
- REFER TO ROOF PLAN LEGEND ON SHEET A4.16 FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		CMU WALL
	WALL SECTION TAG		3HR FIRE WALL
	DETAIL SECTION TAG		2HR FIRE WALL
	PARTITION WALL TAG REF A1.05		2HR FIRE BARRIER
	FURRDOWN		1HR FIRE BARRIER
	TYPE 'A' UNITS		1HR FIRE PARTITION AT UNIT SEPARATION
	HEARING AND VISION IMPAIRED UNITS		1HR FIRE PARTITION AT CORRIDORS
	BUILDING UNDER SEPARATE PERMIT		ASSUMED PROPERTY LINE
	METER		3/4" BRICK / STONE LEDGE
	FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP		BUILDING NUMBER
	FEC		UNIT TYPE
	DOOR TAG SYMBOL		SHEET NUMBER
	WINDOW TAG SYMBOL		ADDRESS NUMBER
			FINISH FLOOR ELEVATION REFER TO CIVIL
			ENTRANCE DOOR MANEUVERING CLEARANCE

BLDG - KEY PLAN



Designed by: _____ Author
 Drawn by: RYAN MCLEAN
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/13/2022 1:52:37 PM

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions

#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P.
 All Rights Reserved
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 ALPHA ROAD, SUITE 300, DALLAS, TX 75240
 P: (972) 701-9636 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OAKLAND, SCOTTSDALE, CHENNAI, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com



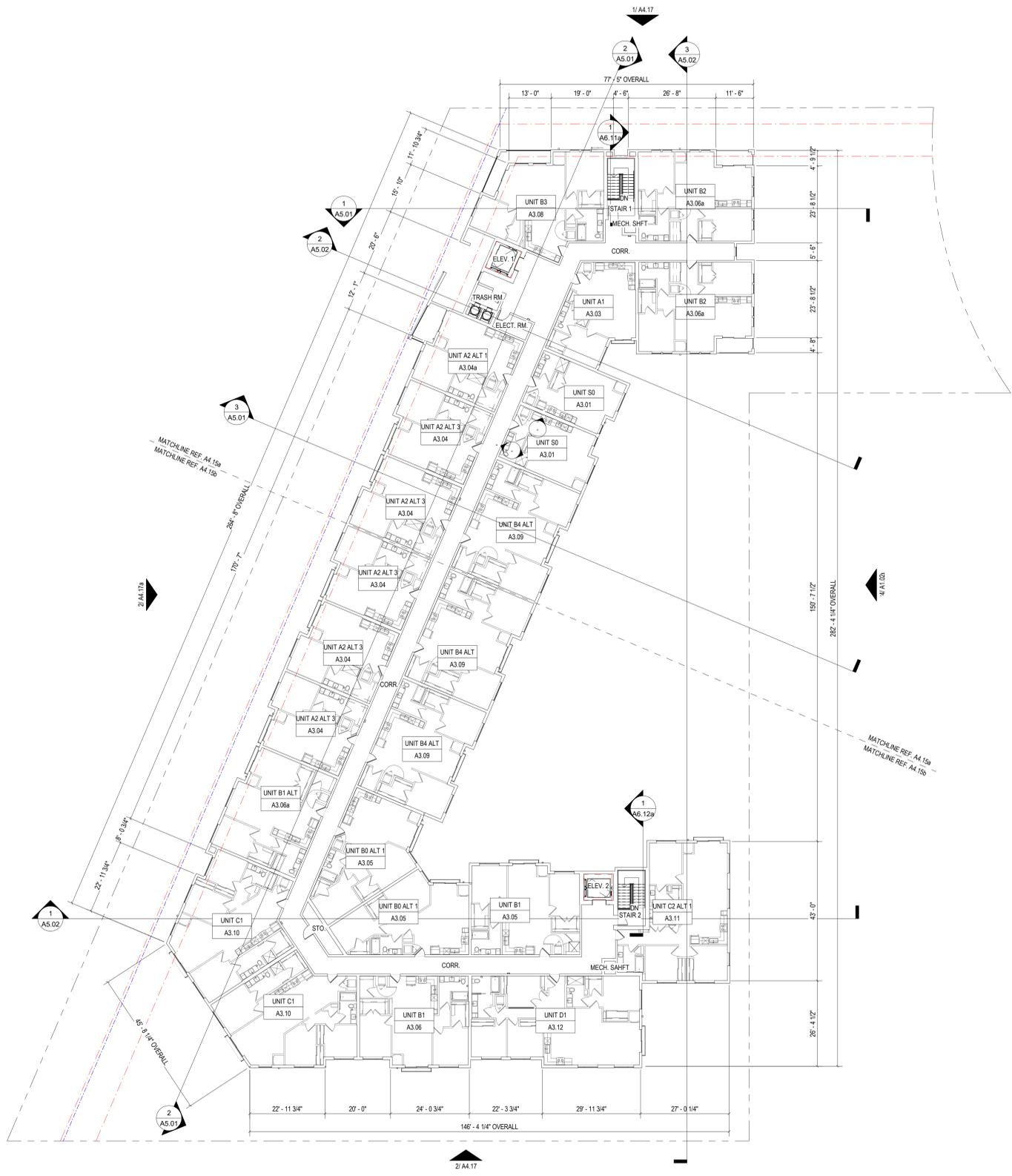
SHEET CONTENTS
 OVERALL FLOOR PLAN - LEVEL 4

SHEET NO.

A4.14

21180

DESIGN DEVELOPMENT SET (06/03/2022)



1 LEVEL 5 - OVERALL FLOOR PLAN
1/16" = 1'-0"

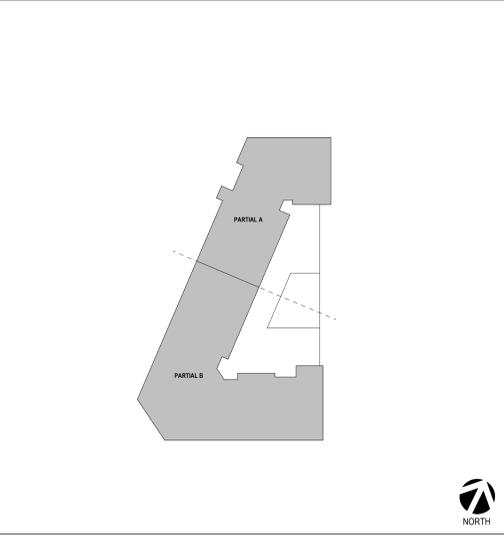
GENERAL BLDG NOTES

- PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
- ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
- ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND 1/A8.01a FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
- NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
- ALL DOORS ARE 4" FROM ADJACENT WALL U/I/O.
- FOR UNIT INTERIOR WALL TYPES REFER TO A300a UNIT SHEETS.
- METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP AND TELECOM PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
- REFER TO EGRESS PLANS FIRE EXTINGUISHER SCHEDULE.
- SPACE CONTROL JOINTS IN GYPSUM WALL BOARD TO LIMIT EXPANSIONS TO 30'-0" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 2,500 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 50'-0" IN EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FURRING, OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
- WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21'-0" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.
- REFER TO SHEET A4.XX FOR ROOF NOTES AND LEGENDS.
- REFER TO ROOF PLAN LEGEND ON SHEET A4.16 FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		CMU WALL
	WALL SECTION TAG		3HR FIRE WALL
	DETAIL SECTION TAG		2HR FIRE WALL
	PARTITION WALL TAG REF A1.05		2HR FIRE BARRIER
	FURROWDOWN		1HR FIRE BARRIER
	TYPE 'A' UNITS		1HR FIRE PARTITION AT UNIT SEPARATION
	HEARING AND VISION IMPAIRED UNITS		1HR FIRE PARTITION AT CORRIDORS
	BUILDING UNDER SEPARATE PERMIT		ASSUMED PROPERTY LINE
	METER		3/4" BRICK / STONE LEDGE
	FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP		BUILDING NUMBER
	FEC		UNIT TYPE
	DOOR TAG SYMBOL		SHEET NUMBER
	WINDOW TAG SYMBOL		ADDRESS NUMBER
			FINISH FLOOR ELEVATION REFER TO CIVIL
			ENTRANCE DOOR MANEUVERING CLEARANCE

BLDG - KEY PLAN



Designed by: _____ Author
 Drawn by: RYAN MCLEAN
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/13/2022 1:52:40 PM

Issue for Pricing/Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions	#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P.
 All Rights Reserved
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

ALATUS
 325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 ALPHA ROAD, SUITE 300, DALLAS, TX 75240
 P: (972) 701-9636 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OAKLAND, SCOTTSDALE, CHENNAI, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com

DESIGN DEVELOPMENT SET (06/03/2022)

SHEET CONTENTS
 OVERALL FLOOR PLAN - LEVEL 5

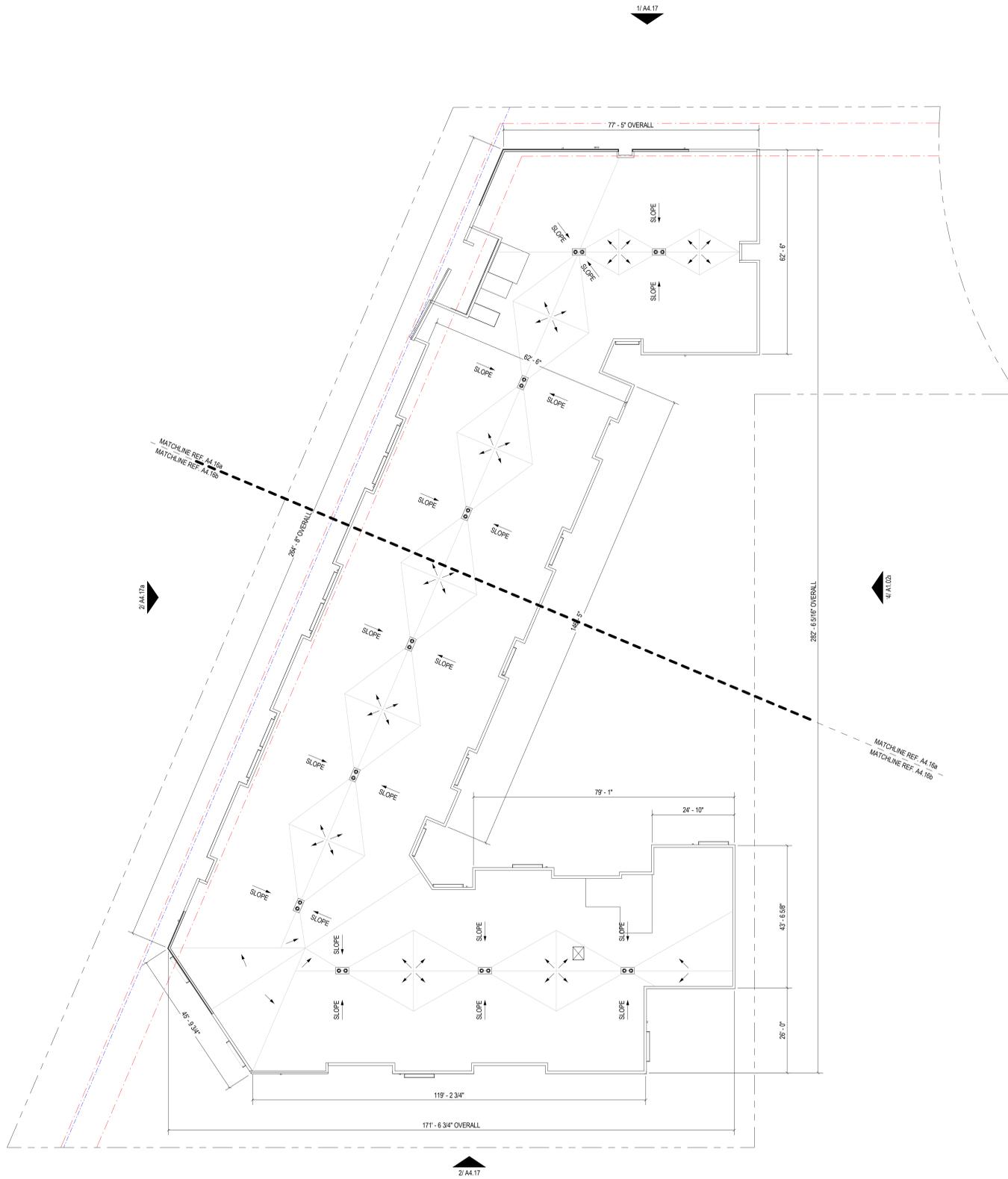
SHEET NO.

A4.15

21180



1 LEVEL - ROOF - OVERALL FLOOR PLAN
1/16" = 1'-0"



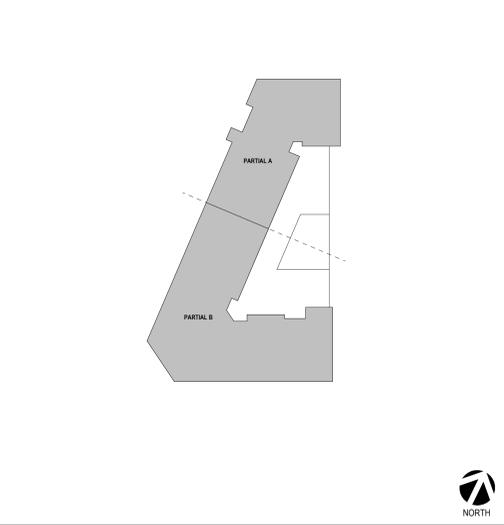
ROOF NOTES

- NOTE:
- FOR LOW SLOPE ROOFS, SLOPES ARE TO BE MIN 1/4" PER FOOT, U.N.O.
 - PARAPET DIMENSIONS ARE FROM TOP OF PLATE TO TOP OF PARAPET.
 - GUTTERS AND DOWNSPOUTS TO BE PROVIDED AT ALL EAVES.
 - ALL ROOF DRAINS / DOWNSPOUTS ON EXTERIOR WALLS TO CONNECT DIRECTLY TO STORM WATER SYSTEM.
 - ALL DOWNSPOUTS ON STAIRS AND ELEVATOR TOWER OR ANY NOT CONNECTED DIRECTLY TO STORM WATER SYSTEM TO HAVE LEADERS AND SPLASH BLOCKS.
 - DOWNSPOUT LOCATIONS ARE CONCEPTUAL IN NATURE AND MUST BE COORDINATED BY THE CONTRACTOR ON SITE WITH THE LANDSCAPING, RETAINING WALL, SIDEWALKS, AND INDIVIDUAL BUILDING ORIENTATION AND DRAINAGE TO INSURE THAT OUTFLOW FROM DOWNSPOUTS DOES NOT CROSS WALKING OR DRIVING SURFACES. IT IS THE INTENT OF THE ARCHITECT THAT GUTTER DOWNSPOUTS TERMINATE IN UNDERGROUND DRAINAGE PIPING AND CARRIED AWAY FROM THE BUILDING AND OTHER FINISHED SURFACES WHERE POSSIBLE. LOCATE DOWNSPOUTS AT INTERIOR CORNERS WHEN POSSIBLE.
 - DRAFTSTOPS LOCATED PER 2012 IBC, SECTION 718.4 ATTIC DRAFTSTOPS SHALL BE 1/2" GYPSUM OR PLYWOOD SHEATHING FIT SNUG TO TIGHT TO THE ROOF DECK AND BEING BELOW. DRAFTSTOPPING SHALL NOT EXCEED 3,000 S.F. OR 2 DWELLING UNITS.
&OR
DRAFTSTOPPING IS NOT REQUIRED PER 2018 IBC, SECTIONS 718.4.2 EX.2 IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
&OR
DRAFTSTOPPING IS NOT REQUIRED PER 2018 IBC, SECTIONS 718.4.2 EX.4 IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.2, PROVIDED THAT AUTOMATIC SPRINKLERS ARE ALSO INSTALLED IN THE COMBUSTIBLE CONCEALED SPACES WHERE THE DRAFTSTOPPING IS BEING OMITTED.
 - ALL ROOF AND FLOOR TRUSSES SHALL BE DESIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF PROJECT. TRUSS SHOP DRAWINGS SHALL BE AVAILABLE AT THE JOBSITE.
 - REFER TO STRUCTURAL DRAWINGS FOR ROOF FRAMING PLANS AND SPECS.
 - PLATE AND TRUSS HEEL HEIGHTS ARE FOR DESIGN INTENT ONLY. TRUSS MANUFACTURER TO VERIFY.
 - REFER TO STRUCTURAL DRAWINGS AND TRUSS FABRICATION DRAWINGS FOR EXACT PLATE AND HEEL HEIGHTS.
 - PROVIDE WALKWAY PADS TO AND AROUND ALL ROOFTOP MECHANICAL EQUIPMENT.
 - PROVIDE MIN. CLEARANCE TO ADJACENT EQUIPMENT, WALLS OR CURBS AT MECHANICAL, ROOFTOP EQUIPMENT AND PENETRATIONS AS REQUIRED BY EQUIPMENT MANUFACTURER (BUT NOT LESS THAN 24").
 - ATTIC ACCESS PANELS TO BE 22" X 30" WITH A 30" VERTICAL CLEARANCE, U.N.O. REF. 19A7.03.
 - PROVIDE ICE AND SNOW DAM PROTECTION W/3 MIL. PEEL AND STICK ELASTOMER MEMBRANE AT VALLEYS, EAVES (36" MIN WIDTH OVER HEATED AREA) AND SHED ROOFS.
 - PROVIDE ONE DEPTH MARKER EVERY 300 SQ. FT. IN ATTIC AREAS RECEIVING BLOWN INSULATION. MARKERS SHALL BE CLEARLY READABLE FROM THE ATTIC ACCESS PER CITY OF WILSTON REQUIREMENTS.

ROOF PLAN - SYMBOL LEGEND

	DRAFTSTOP		14'-12" X 14'-12" GRAVITY ROOF VENT. 144 SQ. IN. NET FREE AREA BASIS OF DESIGN AIR VENT B-144 ROOF VENT - REF. 19A7.03
	ROOF SIDE WALL		INTAKE ROOF VENT BASIS OF DESIGN - ACTIVE VENTILATION PROD., INC. PV-14 144 SQ. IN. NET FREE AREA
	2-HR FIRE BARRIER		EXHAUST ROOF VENT BASIS OF DESIGN - ACTIVE VENTILATION PROD., INC. AV-14 144 SQ. IN. NET FREE AREA
	2-HR FIRE WALL		24" X 18" INTAKE GABLE VENT. BASIS OF DESIGN - CONSTRUCTION METALS, INC. GALVANIZED MESH: 190 SQ. IN. NET FREE AREA
	NO PENETRATIONS 4'-0" ON EITHER SIDE OF 2 HOUR FIREWALL		CHAGIN FLAT CONCRETE TILE ROOF VENT #50043 EACH UNIT EQUALS 118 SQ. IN. NEVA
	12'-0" RAISED CEILING LOCATIONS 3/12 PITCH VAULTED CEILING LOCATIONS		ROOFTOP CONDENSING UNIT ON CONDENSING PADS, AS SPECIFIED, REF. MECH. MAINTAIN 24" CLEAR SPACE AROUND PERIMETER OF UNITS
	ICE DAM SHIELD		4" ROOF DRAIN WITH OVERFLOW REF. MEP
	22" X 30" LOCKABLE ATTIC ACCESS, REF. DET. 19A7.03		OVERFLOW SCUPPER
	ATTIC DRAFTSTOP ACCESS DOOR REF. 19A7.07		5" X 5" GUTTER
	48" X 96" BILCO 2-HR RATED LOCKABLE ROOF HATCH WITH LAPEYRE 68" ALTERNATING TREAD DEVICE REF. 20A7.07		4" DOWNSPOUT (DS)
	PARAPET		4" X 4" LEADER WITH COLLECTOR HEAD
	PARAPET HT. X'-X" PARAPET HEIGHT FROM TOP OF PLATE		WALL SECTION TAG
	1/4" FT. X 12 SLOPE DIRECTION		EXTERIOR ELEVATION TAG
	RIDGE VENT 12" WIDE BASIS OF DESIGN AIR VENT, INC. SHINGLE VENT 8, 18 SQ. IN. / FT. NET FREE AREA		
	CONTINUOUS SOFFIT VENT BASIS OF DESIGN 1/4" MIN. OVER/UNDER 12.7 SQ. IN. PER LINEAR FOOT		

BLDG - KEY PLAN



Designed by: _____ Designer
 Drawn by: _____ Author
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/13/2022 1:52:44 PM

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions	#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P.
 All Rights Reserved
 The architectural works depicted herein are the
 sole property of Humphreys & Partners
 Architects, L.P. and may not be constructed or
 used without its express written permission. No
 permission to modify or reproduce any of the
 architectural works, including without limitation
 the construction of any building, is expressed or
 implied from delivery of preliminary
 drawings or unsealed construction drawings.
 Permission to construct the building depicted in
 sealed construction drawings is expressly
 conditioned on the full and timely payment of all
 fees otherwise due Humphreys & Partners
 Architects, L.P. and, in the absence of any
 written agreement to the contrary, is limited to a
 one-time use on the site indicated on these
 plans.

ALATUS
 325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

These drawings are for
 preliminary coordination
 only and not to be used
 for regulatory approval or
 construction.

HUMPHREYS & PARTNERS
 ARCHITECTS, L.P.
 5339 ALPHA ROAD, SUITE 300 - DALLAS, TX 75240
 P: (972) 701-9639 F: (972) 701-9639
 DALLAS, CHARLOTTE, CHICAGO, DENVER, NEW ORLEANS, NEW YORK
 NEWPORT BEACH, OMAHA, SCOTTSDALE, CHENNAI, HANOI
 LONDON, MONTEVIDEO, MEXICO CITY, TORONTO
 www.humphreys.com

DESIGN DEVELOPMENT SET (06/03/2022)

SHEET CONTENTS
 OVERALL ROOF PLAN

SHEET NO.

A4.16

21180

	MATERIAL %	North (Lake Street)	WEST (Blake Road)	EAST	SOUTH
Primary	BRICK VENEER	25 %	20 %	21 %	20 %
	METAL PANEL	35 %	40 %	28 %	27 %
	CAST STONE	15%	10%	15 %	11 %
Secondary	FIBER CEMENT PANEL	25%	30 %	36 %	42 %

	NORTH	WEST	EAST	SOUTH
TRANSPARENCY OVER 2ND FL. %	30 %	34 %	30 %	32 %

Designed by: Designer
 Drawn by: Author
 Architect of Record: RYAN MCLEAN
 Date Plotted: 6/8/2022 11:09:42 AM

Issue for Pricing / Bidding:

Issue for Permit Application:

Issue for Construction:

Revisions		
#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P.
 All Rights Reserved.
 The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



2 WEST ELEVATION
 3/32" = 1'-0"



1 EAST ELEVATION
 3/32" = 1'-0"

325 BLAKE RD N - BUILDING A
 325 BLAKE ROAD
 HOPKINS, MINNESOTA
 ALATUS, LLC

These drawings are for preliminary coordination only and not to be used for regulatory approval or construction.

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 ALPHEA BOULEVARD, SUITE 900, DALLAS, TX 75240
 P: (972) 701-8686 F: (972) 701-8689
 DALLAS CHARLOTTE CHICAGO DENVER NEW ORLEANS NEW YORK
 NEWPORT BEACH ORLANDO SCOTTSDALE CHENNAI HANOI
 LONDON MONTEVIDEO MEXICO CITY TORONTO
 www.humphreys.com



SHEET CONTENTS
 OVERALL EXTERIOR ELEVATIONS

SHEET NO.

A4.17a

21180

DESIGN DEVELOPMENT SET (06/03/2022)

	MATERIAL %	North (Lake Street)	WEST (Blake Road)	EAST	SOUTH
Primary	BRICK VENEER	25 %	20 %	21 %	20 %
	METAL PANEL	35 %	40 %	28 %	27 %
	CAST STONE	15%	10%	15 %	11 %
Secondary	FIBER CEMENT PANEL	25%	30 %	36 %	42 %
TRANSPARENCY OVER 2ND FL. %		NORTH	WEST	EAST	SOUTH
		30 %	34 %	30 %	32 %

Designed by:	Author	
Drawn by:	RYAN MCLEAN	
Architect of Record:	RYAN MCLEAN	
Date Plotted:	6/8/2022 10:57:26 AM	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction:		
Revisions		
#	DATE	COMMENTS

© 2022 by Humphreys & Partners Architects, L.P. All Rights Reserved.
The architectural works depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be constructed or used without its express written permission. No permission to modify or reproduce any of the architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings or unsealed construction drawings. Permission to construct the building depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due Humphreys & Partners Architects, L.P. and, in the absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.



2 SOUTH ELEVATION
3/32" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"

325 BLAKE RD N - BUILDING A

325 BLAKE ROAD
HOPKINS, MINNESOTA

ALATUS, LLC

HUMPHREYS & PARTNERS
ARCHITECTS, L.P.

5339 ALPHA ROAD, SUITE 300 - DALLAS, TX 75240
P: (972) 701-9838 • F: (972) 701-9839
DALLAS • CHARLOTTE • CHICAGO • DENVER • NEW ORLEANS • NEW YORK
NEWPORT BEACH • ORLANDO • SCOTTSDALE • CHENNAI • HANOI
LONDON • MONTEVIDEO • MEXICO CITY • TORONTO
www.humphreys.com



SHEET CONTENTS
OVERALL EXTERIOR ELEVATIONS

SHEET NO.

A4.17

EXISTING	PROPOSED

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for electronic and reference only. All intellectual or contractual notices, additions, or deletions to these CADD files shall be made in the full file of the project and not in separate additons. In addition, the user shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

10/22/21	PUD SUBMITTAL
10/29/21	CITY RESUBMITTAL
11/08/21	CITY COMMENTS
11/15/21	CITY RESUBMITTAL
01/21/21	PRICING SET
03/30/22	GRANT APPLICATION
6/3/2022	DESIGN DEVELOPMENT
6/13/2022	CHECK SET FOR FRANA

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

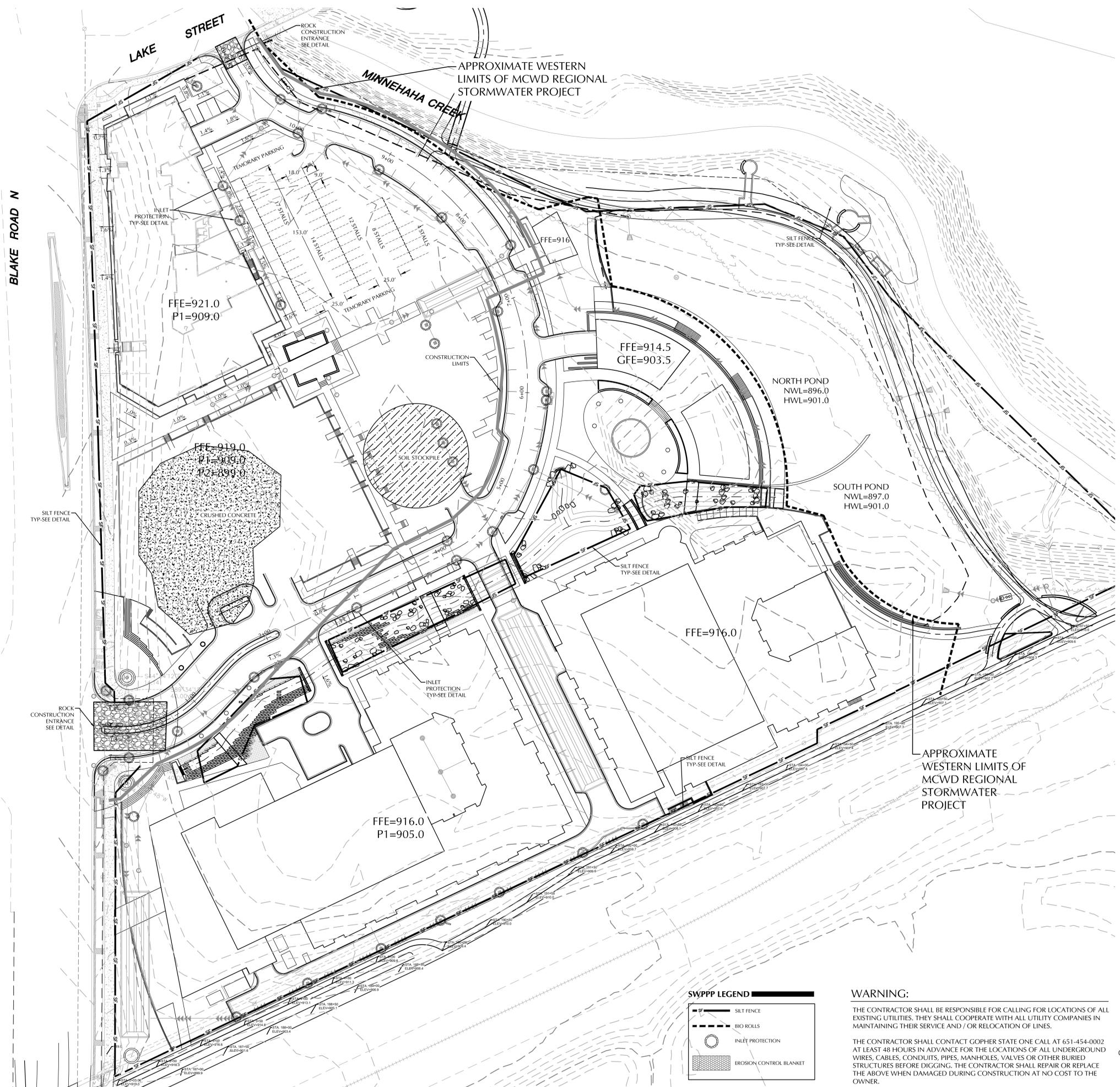
Michael J. St. Martin - PE
License No. 24440
Date 10-29-21

QUALITY CONTROL

Loucks Project No. 20503A
Project Lead MJS
Drawn By TRG
Checked By MKK
Review Date 10-29-21

SHEET INDEX

C1-1A-D	EX. CONDITIONS PLAN
C1-2A-D	DEMOLITION PLAN
C2-1A-D	SITE PLAN
C3-1A-D	GRADING PLAN
C3-2A-D	SWPPP PLAN
C3-3	SWPPP NOTES
C4-1A-D	SANIT. AND WATERMAIN
C4-2A-D	STORM SEWER
C8-1, 2, 3	DETAIL SHEET

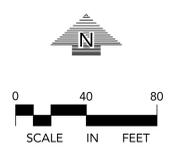


SWPPP LEGEND

	SILT FENCE
	BIO ROLLS
	INLET PROTECTION
	EROSION CONTROL BLANKET

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



CALL BEFORE YOU DIG
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are the property of the Consultant. The Consultant warrants that the files were prepared by the Consultant and that the files were prepared in accordance with the Consultant's standards. The Consultant warrants that the files were prepared in accordance with the Consultant's standards. The Consultant warrants that the files were prepared in accordance with the Consultant's standards.

SUBMITTAL/REVISIONS

6/10/22 PUD RESUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

DF/ Project No. 19-199B
Project Lead JM
Drawn By JH
Checked By JM
Review Date

SHEET INDEX

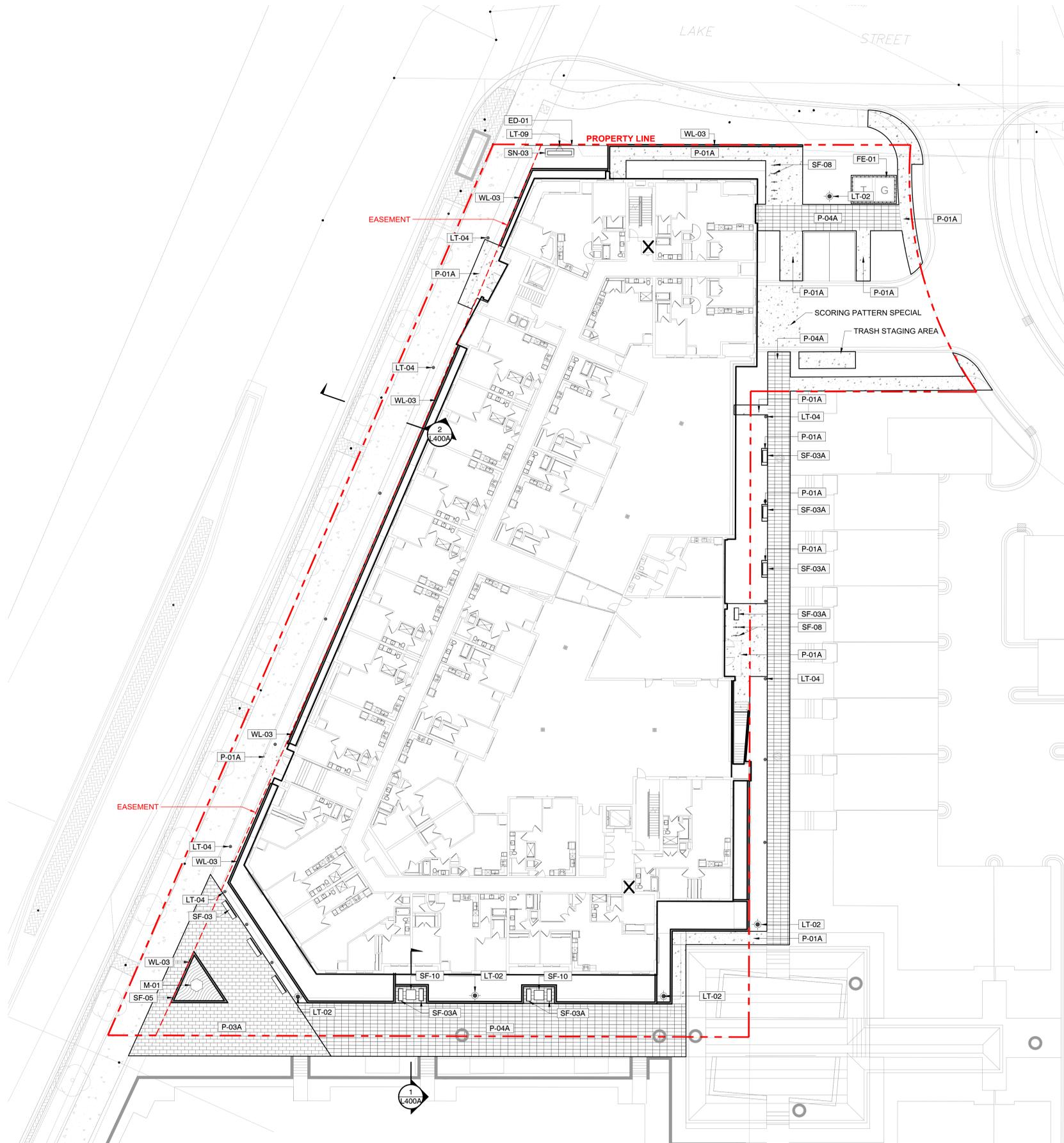
MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	QTY	MATERIAL PROFILE/ASSEMBLY
EDGING			
ED-01	EDGING TYPE 1	29 LF	3/16" THICK BY 4" HGT. PAINTED STEEL EDGING
FENCE & GUARDRAIL			
FE-01	SCREEN FENCE	48 LF	
LIGHTING			
LT-02	LT-02 - PEDESTRIAN SCALE POLE LIGHT		PEDESTRIAN SCALE POLE LIGHT
LT-04	LT-04 - PATHWAY/GARDEN LIGHT BOLLARD		
LT-09	LT-09 - UP/FLOOD LIGHT		
MISCELLANEOUS			
M-01	PUBLIC ART - LARGE		SCULPTURAL ART, 12'-20' HEIGHT
PAVING			
P-01A	PAVING TYPE 01A - 4" CONCRETE PAVING	SF	4" REINFORCED CONCRETE PAVING
P-03A	PAVING TYPE 03A - CONCRETE UNIT PAVERS	SF	3" THK, 18" X 36" OVER COMPACTED AGGREGATE BASE, COMPACTED SUBGRADE
P-04A	PAVING TYPE 04A - PERMEABLE CONCRETE UNIT PAVERS	SF	80MM THICK PERMEABLE CONCRETE UNIT PAVERS OVER COMPACTED CLEAN STONE BASE, COMPACTED SUBGRADE
SITE FURNITURE			
SF-03	BENCH TYPE 03 - SURFACE MOUNTED BENCH - BACKED 6"		6" SURFACE MOUNTED BENCH
SF-03A	BENCH TYPE 03A - SURFACE MOUNTED BENCH - BACKED 4"		
SF-05	BENCH TYPE 05 - PODIUM BENCH	SF	
SF-09	BIKE RACK	7	
SF-10	SURFACE MOUNTED TABLE		
SIGNAGE			
SN-03	SIGNAGE TYPE 03 - MONUMENT SIGN		
WALL			
WL-03	WALL TYPE 03 - DRY-STACK LIMESTONE WALL	655 LF	8" DRYSTACK LIMESTONE WALL

SITE INFORMATION

Building A (Block 3, Lot 2)

Site Area	56,142	
Building Footprint	35,751	64%
Hardscape	11,486	20%
Landscape	8,905	16%
Trees	29	
Shrubs	429	
Groundcover sf	1,369	



CADD QUALIFICATION

CADD files prepared by the Consultant for this project are intended for use by the Consultant and are not to be used on other projects, for addition to this project, or for any other purpose without the written approval of the Consultant. The Consultant assumes no liability for any errors or omissions in the CADD files. The Consultant shall be responsible for any errors or omissions in the CADD files that are not identified by the Consultant prior to the start of the project.

SUBMITTAL/REVISIONS

6/10/22 PUD RESUBMITTAL

PROFESSIONAL SIGNATURE

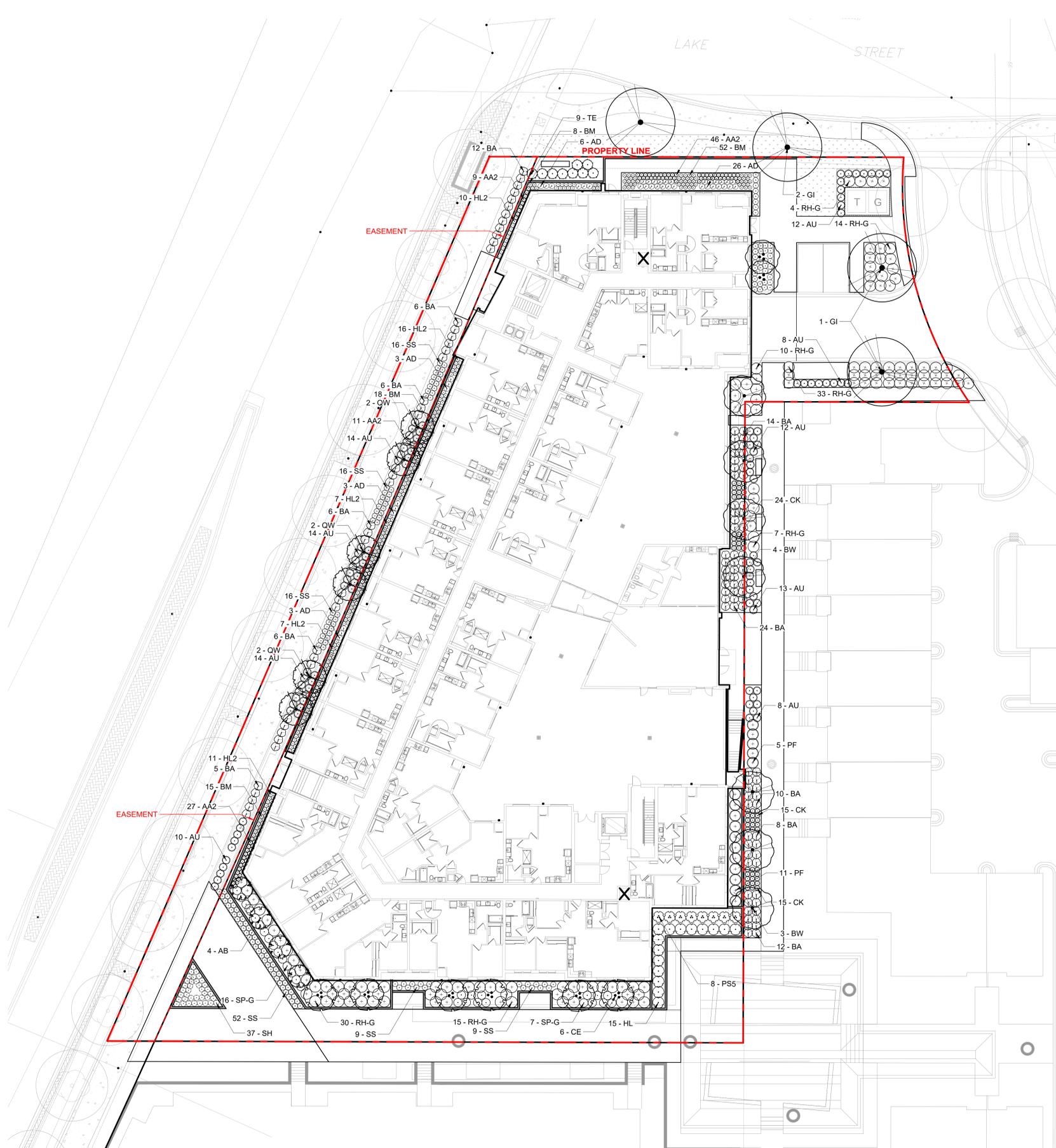
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

DF/ Project No. 19-199B
Project Lead JM
Drawn By JH
Checked By JM
Review Date

SHEET INDEX

Plotted: 06/10/2022 12:58:42 PM Projects\20-199B 325 Blake Road - Alatus\0 CADD_Models\BDC_AA - 20-199B - Planning



PLANTING SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.
	AB	4	ACER SACCHARUM 'BARRETT COLE' TM APOLLO SUGAR MAPLE	2.5" CAL.	B&B
	BW	7	BETULA POPULIFOLIA 'WHITESPIRE' WHITESPIRE GRAY BIRCH	2" CAL.	B&B
	GI	4	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM SKYLINE HONEY LOCUST	2.5" CAL.	B&B
	QW	6	QUERCUS X WAREI 'LONG' TM REGAL PRINCE OAK	2.5" CAL.	B&B
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.
	AG	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY	2" CAL.	B&B
	CE	6	CERCIS CANADENSIS EASTERN REDBUD MULTI-TRUNK	8' HT. MULTI-STEM	B&B
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.
	AU	101	ARONIA MELANOCARPA 'UCONNAM165' LOW SCAPE MOUND CHOKEBERRY	#5	CONT.
	BA	119	BAPTISIA AUSTRALIS BLUE WILD INDIGO	#2	CONT.
	HL	15	HAMAMELIS VIRGINIANA 'LITTLE SUZY' COMMON WITCH HAZEL	#5	CONT.
	PS5	8	PHYSOCARPUS OPULIFOLIUS 'SEWARD' SEWARD NINEBARK	#5	CONT.
	PF	16	PHYSOCARPUS OPULIFOLIUS 'UMNHARPELL' TM FIRESIDE NINEBARK	#5	CONT.
	RH-G	131	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	#5	CONT.
	SP-G	30	SPIRAEA X BUMALDA 'GOLDFLAME' GOLDFLAME SPIREA	#3	CONT.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.
	TE	9	TAXUS X MEDIA 'EVERLOW' EVERLOW YEW	#5	CONT.
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.
	AA2	115	ARUNCUS AETHUSIFOLIUS DWARF GOATSBEARD	#1	CONT.
	AD	41	ASTILBE JAPONICA 'DEUTSCHLAND' DEUTSCHLAND JAPANESE ASTILBE	#1	CONT.
	BM	174	BRUNNERA MACROPHYLLA FALSE FORGET-ME-NOT	#1	CONT.
	CK	54	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	#1	CONT.
	HL2	82	HEUCHERA X 'LIME RUFFLES' LIME RUFFLES CORAL BELLS	#1	CONT.
	SS	141	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES' PRAIRIE BLUES LITTLE BLUESTEM	#1	CONT.
	SH	53	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSEED	#1	CONT.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.
	SOD	1,369 SF	SOD	SOD	

SITE INFORMATION

Building A (Block 3, Lot 2)

Site Area	56,142	
Building Footprint	35,751	64%
Hardscape	11,486	20%
Landscape	8,905	16%
Trees	29	
Shrubs	429	
Groundcover sf	1,369	

325 BLAKE ROAD N
HOPKINS, MN

ALATUS LLC

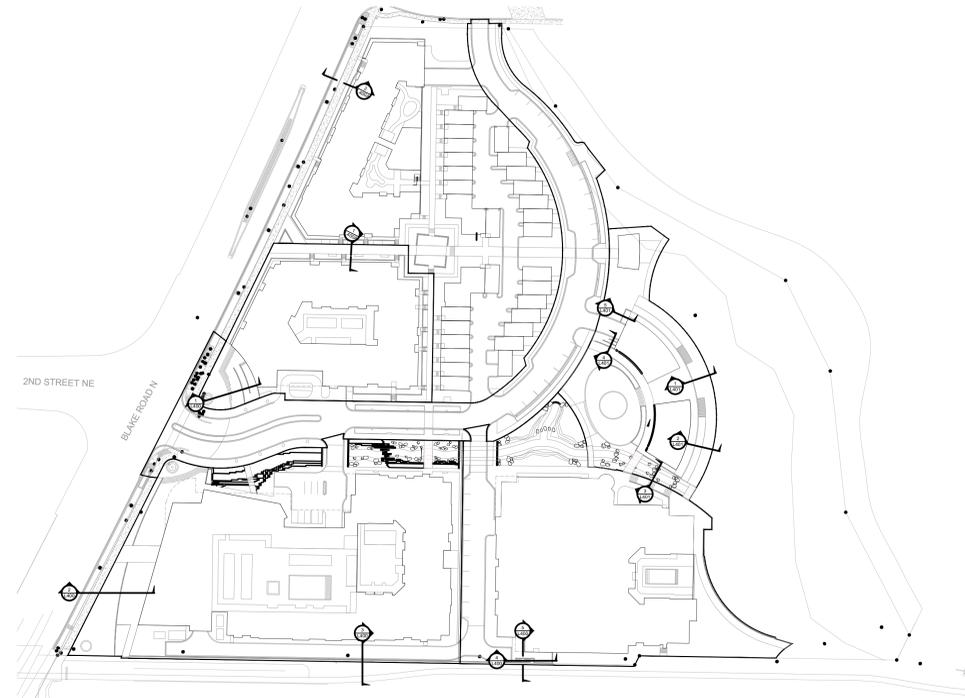
80 S 8th ST. STE. 4155
MINNEAPOLIS, MN 55402



PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

DF/ DAMON FARBER
LANDSCAPE ARCHITECTS
310 South 4th Avenue Suite 7050
Minneapolis, MN 55415 p: 612.332.7522



KEY PLAN

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services and shall not be used on other projects, for addition to this project, or for completion of this project, by anyone without written approval by the Consultant. With the Consultant's approval, users may be permitted to search, modify or delete the CADD files for the information and reference only, in connection with subsequent revisions, additions, or deletions to these CADD files and to make all the CADD files of their party available with reasonable notice to the Consultant and that they shall hold harmless and indemnify the Consultant from any & all responsibilities, claims and liabilities.

SUBMITTAL/REVISIONS

10/22/21	CITY SUBMITTAL
10/29/21	CITY RESUBMITTAL
11/15/21	CITY RESUBMITTAL
1/19/22	PRICING SET

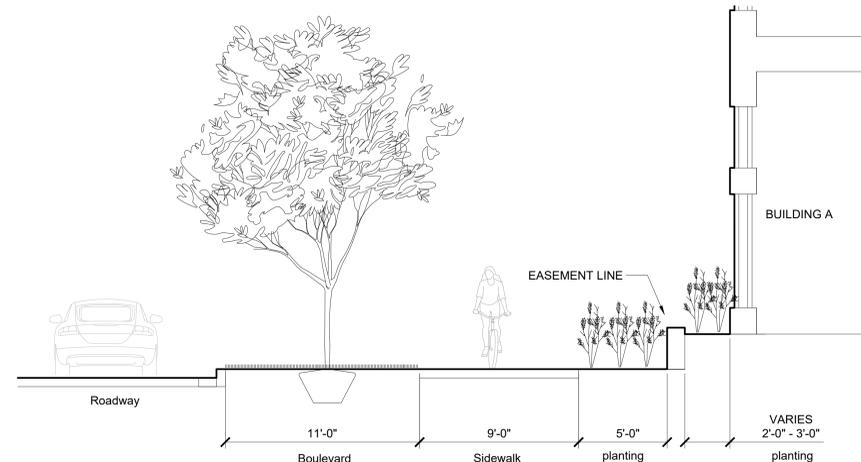
PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

DF/ Project No.	19-199B
Project Lead	JM
Drawn By	AM/JH
Checked By	JM/TW
Review Date	

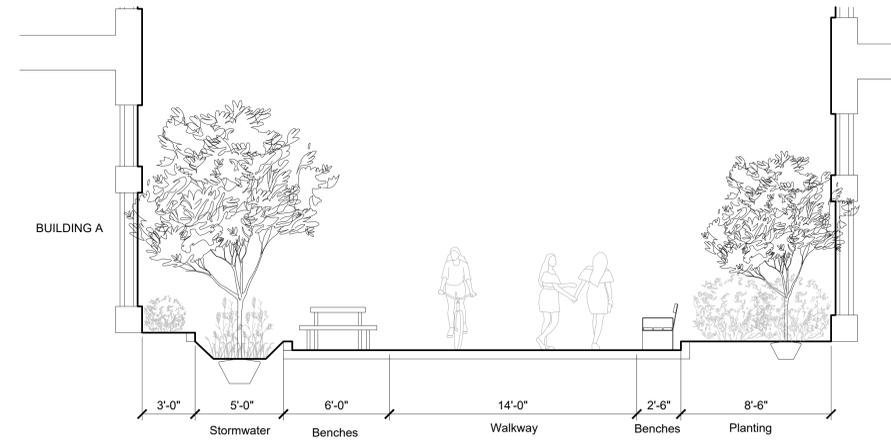
SHEET INDEX



SECTION J - BLAKE ROAD AT BLDG A

1/4" = 1'-0"

P-20 1998-10



SECTION H - EAST WEST SPINE

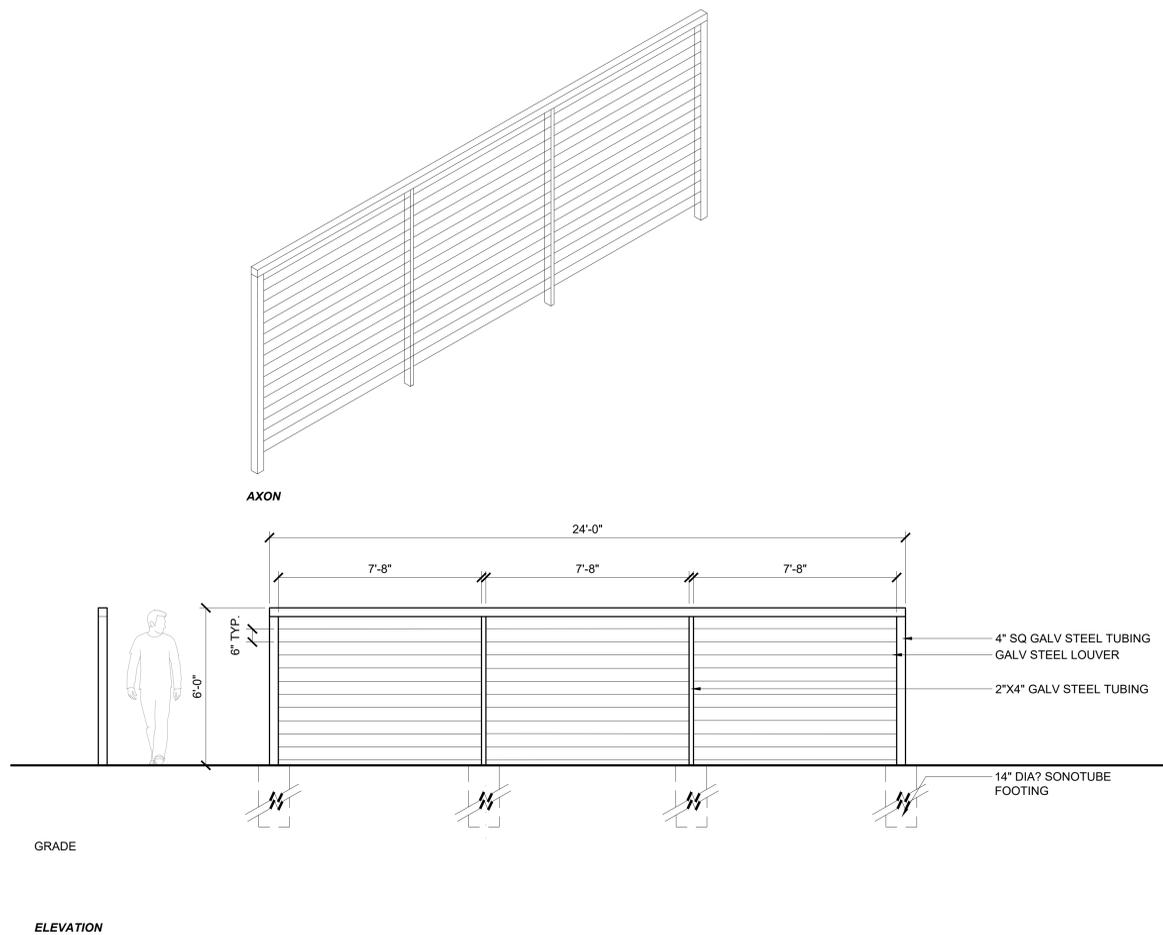
1/4" = 1'-0"

P-20 1998-31

BUILDING A SECTIONS

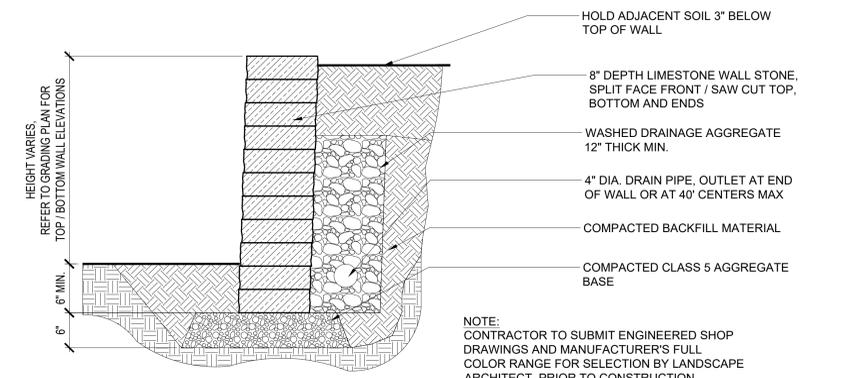
L400A

Plotter: 06/10/2022 12:58:43:00 Projects\20-1998-325 Blake Road - Atlas\0 CAD\1 Models\BLDC A.A. - 20-1998 - Details



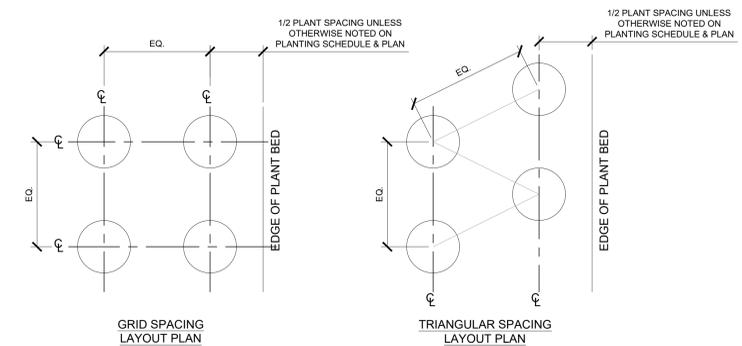
6 DETAIL - LOUVERED SCREEN FENCE
3/8" = 1'-0"

P-20 1998-17



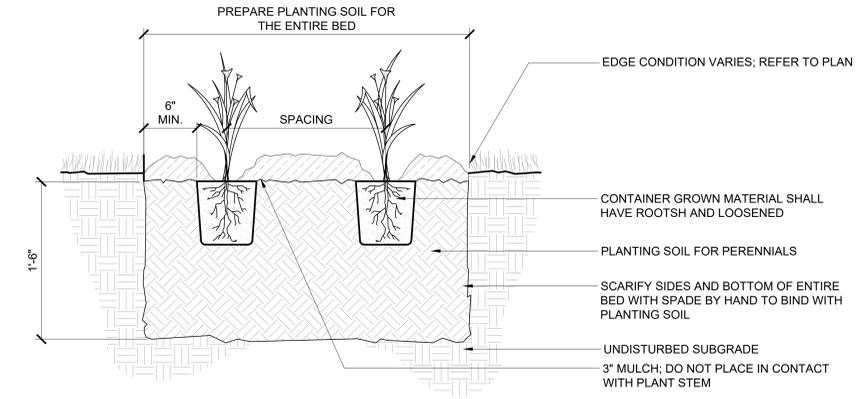
5 DETAIL - WALL TYPE 03, DRY-STACK LIMESTONE WALL
1" = 1'-0"

P-20 1998-202



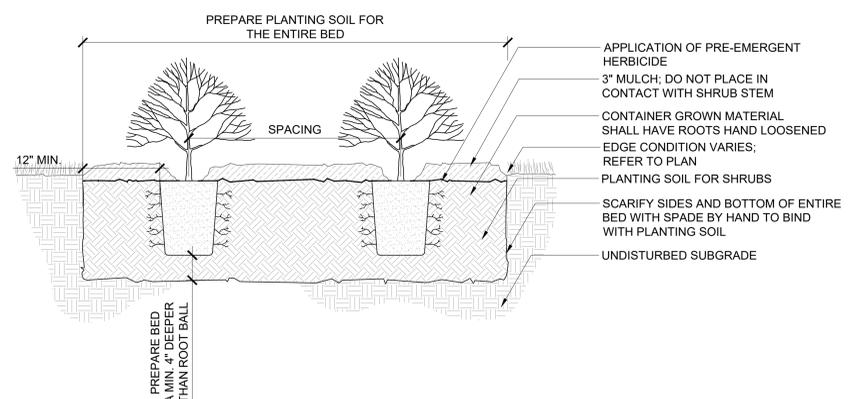
4 DETAIL - PLANT SPACING
3/4" = 1'-0"

P-20 1998-22



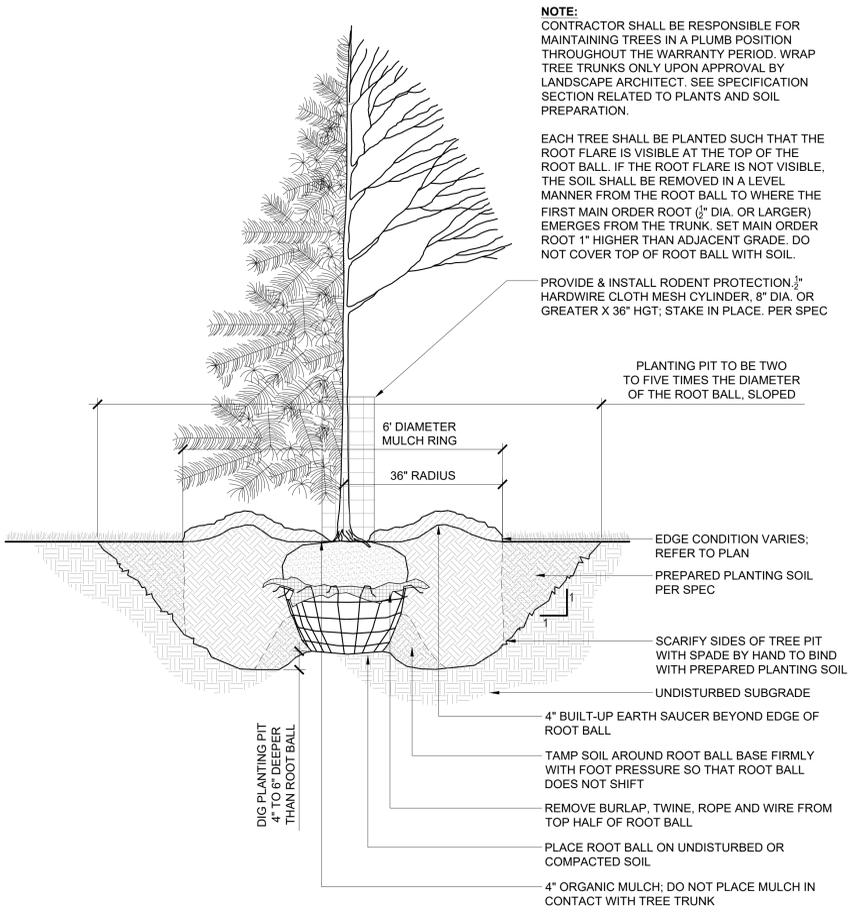
3 DETAIL - PERENNIAL PLANTING
1 1/2" = 1'-0"

P-20 1998-16



2 DETAIL - SHRUB PLANTING
1" = 1'-0"

P-20 1998-14



1 DETAIL - TREE PLANTING
3/4" = 1'-0"

P-20 1998-15

325 BLAKE ROAD N
HOPKINS, MN

ALATUS LLC

80 S 8th ST. STE. 4155
MINNEAPOLIS, MN 55402



PLANNING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

DF/ DAMON FARBER
LANDSCAPE ARCHITECTS
310 South 4th Avenue Suite 7050
Minneapolis, MN 55415 p: 612.332.7522

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are the property of the Consultant. All drawings and files shall be used on other projects, for addition to this project, or for completion of this project, by contract without written approval from the Consultant. All the Consultant's original files may be provided to other parties of the CADD files. The Consultant shall be responsible for any errors or omissions in the CADD files. The Consultant shall be responsible for any errors or omissions in the CADD files. The Consultant shall be responsible for any errors or omissions in the CADD files.

SUBMITTAL/REVISIONS

6/10/22 PUD RESUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

DF/ Project No. 19-1998
Project Lead JM
Drawn By JH
Checked By JM
Review Date

SHEET INDEX

LANDSCAPE
DETAILS

L500

325 BLAKE ROAD N, HOPKINS, MN

PARKING EASEMENT EXHIBIT

Phase 1(A): Building A LIHTC Building

Construction and Parking Easement, Future Phase 2: Buildings B and Townhouse Parcel

Phase 1(B): Buildings C, D, and E/Retail



- CONCRETE PAVING
- CONCRETE PAVING - VEHICULAR
- DECORATIVE CONCRETE PAVING
- CONCRETE UNIT PAVERS
- CONCRETE UNIT PAVERS - VEHICULAR
- PERMEABLE CONCRETE UNIT PAVERS
- PERMEABLE CONCRETE UNIT PAVERS - VEHICULAR
- LIMESTONE UNIT PAVERS
- LIMESTONE FLAGGING
- OUT LIMESTONE TIERED BLOCKS
- CRUSHED AGGREGATE

- LANDSCAPE
- LANDSCAPE PLANTING AREA
- STORMWATER PLANTING AREA
- TURF GRASS
- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- PERGOLA
- WATER / WATER FEATURE

OVERALL SITE INFORMATION

SITE AREA:	643,486 sf
BUILDING FOOTPRINT:	224,881 sf (34%)
HARDSCAPE / IMPERVIOUS AREA:	165,165 sf (26%)
LANDSCAPE / PERVIOUS AREA:	123,297 sf (20%)
TREES:	176
SHRUBS:	3,368
GROUNDCOVER:	15,589 sf

325 BLAKE ROAD N
HOPKINS, MN

ALATUS, LLC

100 S. 2ND ST., STE. 4100
MINNEAPOLIS, MN 55402

DF/ **DAVID FISHER**
LANDSCAPE ARCHITECTURE
100 South 2nd Avenue, Suite 4100
Minneapolis, MN 55402 | 612.332.1000

DESIGN TEAM RESPONSIBILITY

ALL DESIGN RESPONSIBILITY FOR THIS PROJECT IS ASSIGNED TO THE DESIGN TEAM LISTED BELOW. THE DESIGN TEAM IS NOT RESPONSIBLE FOR ANY DESIGN ERRORS OR OMISSIONS THAT MAY OCCUR AS A RESULT OF THE DESIGN TEAM'S NEGLIGENCE OR THE NEGLIGENCE OF ANY OTHER PARTY.

QUALITY CONTROL

1. I hereby certify that the work specified in this report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PROFESSIONAL SIGNATURE

DATE: 10/22/21

QUALITY CONTROL

CPD Project No.	19-1920
Prepared Level	SAJ
Drawn By	AMJ/21
Checked By	AMJ/21
Planner Date	

OVERALL SITE PLAN

L1-1