



ZONING REGULATIONS UPDATE

MODULE 2

Working Group DRAFT

September 2021



PROCESS



GENERAL OBJECTIVES

1. **Align regulations with plans and policies**

- Comprehensive plan implementation
- Mixed-use neighborhoods, centers, districts
- Transit-oriented development

2. **Balance preservation with adaptation and modernization**

- Reinforce desired physical character
- Accommodate infill, redevelopment and additional housing

3. **Simplify and modernize**

- Modern use categories
- Clear, well-illustrated regulations
- Streamlined procedures



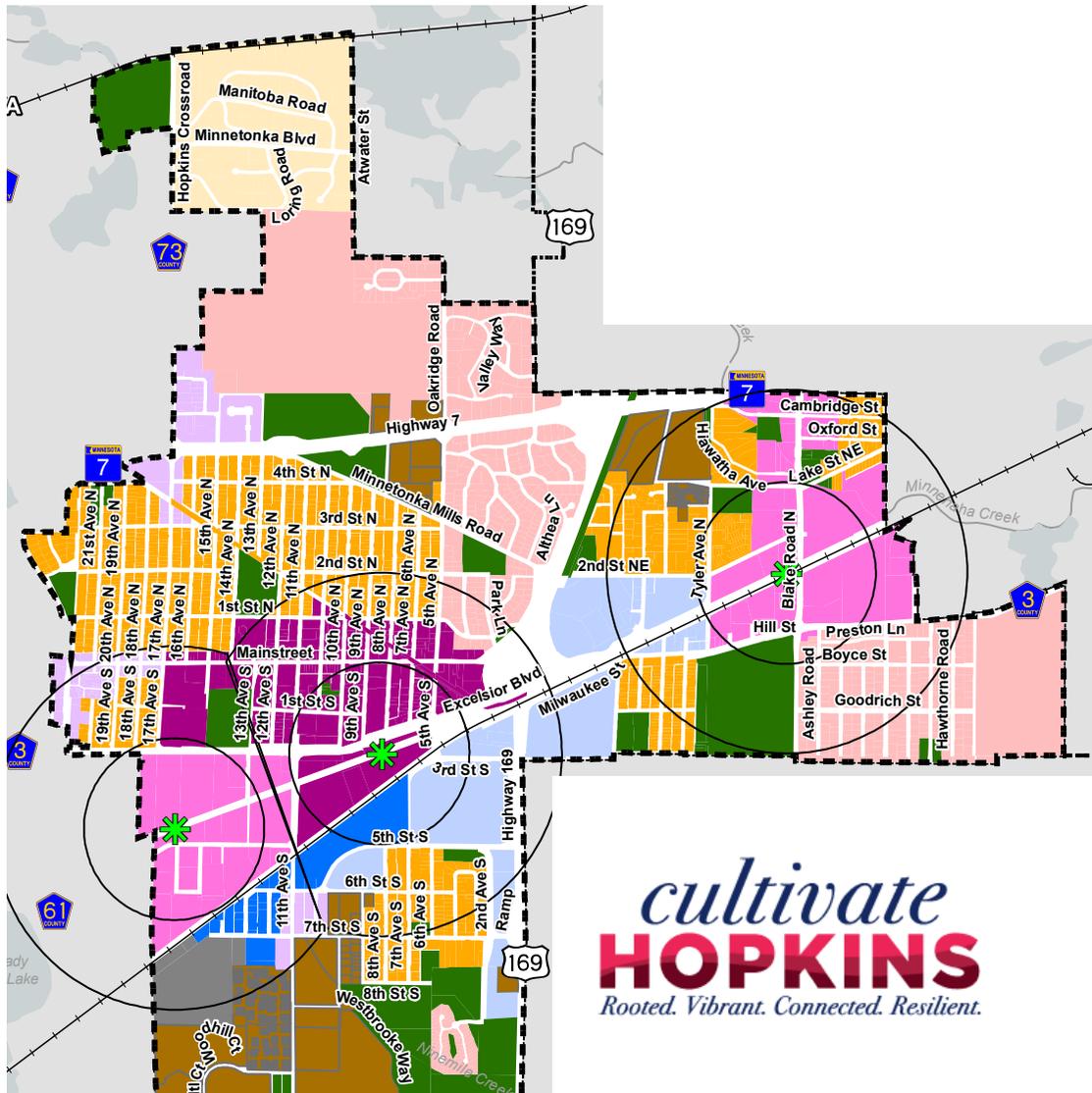
Chapter 102 | Development Code

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MODULE 1 RECAP

ZONES, BUILDING TYPES, USES

FUTURE LAND USE PLAN



Land Use Classes

Neighborhoods	Centers*	Districts
Estate (1-2 du/ac)	Neighborhood Center (20-50 du/ac)	Open and Social Space
Suburban (2-4 du/ac)	Activity Center (20-60 du/ac)	Commerce and Employment
Traditional Urban (5-12 du/ac)	Downtown Center (20-100 du/ac)	Business and Production
General Urban (5-40 du/ac)		Waste and Energy



ARTICLE 2: NEIGHBORHOOD ZONES

ARTICLE 3: MIXED-USE ZONES

ARTICLE 4: SPECIAL ZONES

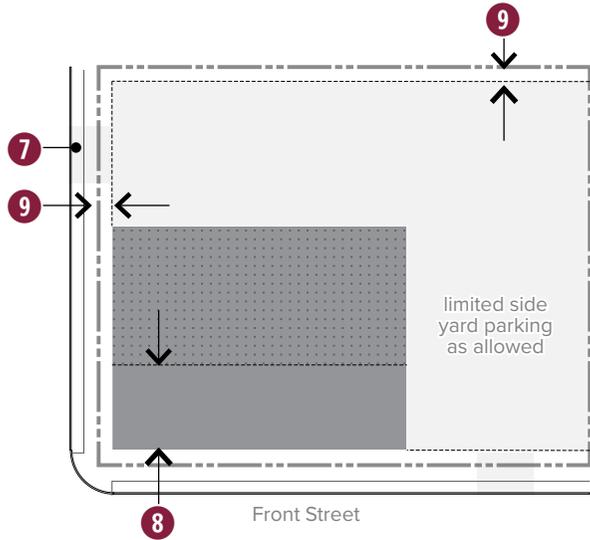
ARTICLE 3:

MIXED-USE ZONES

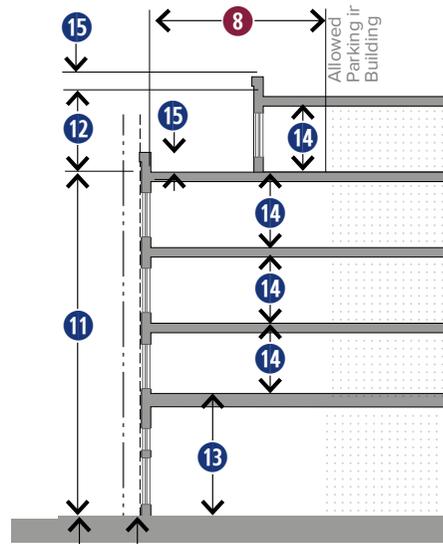
Table 3-2. Allowed Building Types by Zone

Building Types	MIXED-USE ZONES												Reference
	MX-TOD	MX-D	MX-N	MX-S	RX-TOD	RX-D	RX-N	NX1	NX2	IX-TOD	I-TOD	IX-S	
Storefront Building ¹	●	●	●	●	-	-	-	-	-	-	-	-	102-370
Commercial House	-	-	●	-	-	-	●	-	-	-	-	-	102-380
General Building	-	-	-	-	●	●	●	●	●	●	-	●	102-390
Row Building	-	-	-	-	●	●	●	●	●	●	-	-	102-3100
Traditional House	-	-	-	-	-	-	-	●	○	-	-	-	102-3110
Workshop-Warehouse	-	-	-	-	-	-	-	-	-	●	●	●	102-3120
Civic Building ²	-	○	○	○	○	○	○	○	○	○	-	○	102-3130

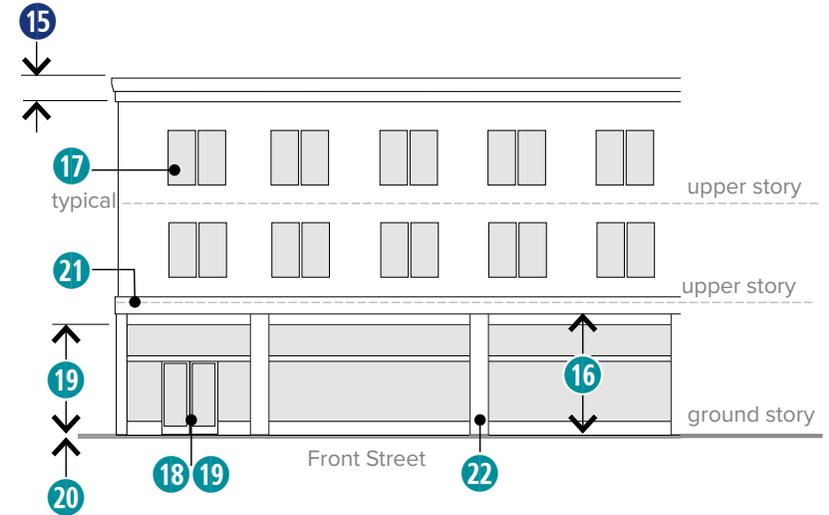
KEY: ● = Allowed ○ = Allowed with Special Permit



Building Footprint & Siting



Building Height



Facade Windows & Doors

Chapter 102 | Development Code

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MODULE 2 OVERVIEW

ARTICLE 7

BUILDING DESIGN

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ARTICLE 7

BUILDING DESIGN

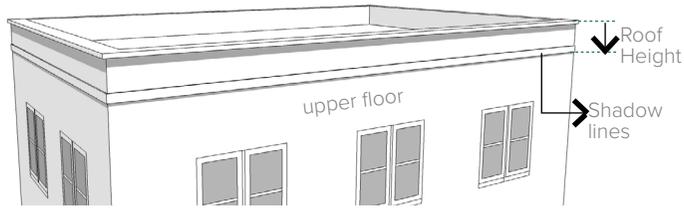


Figure 7-A. Example of a Parapet Roof type

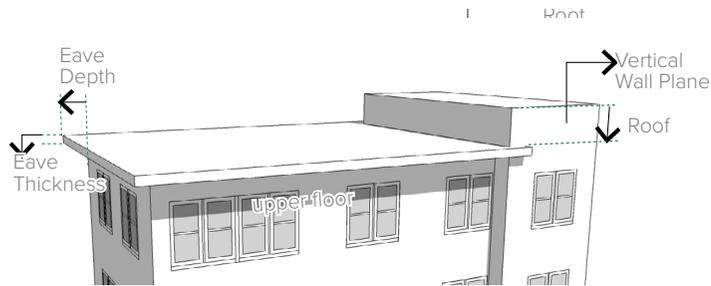


Figure 7-B. Example of a Flat Roof type

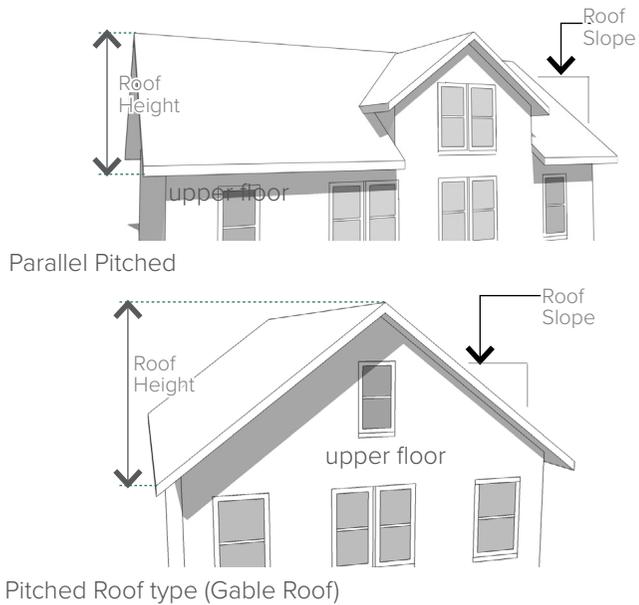


Figure 7-A. Examples of Pitched Roof type

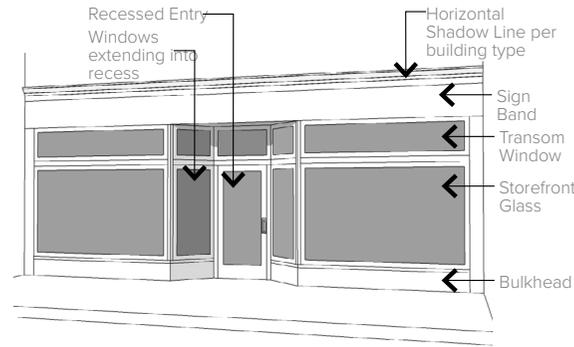


Figure 7-C. Example of a Storefront Entrance

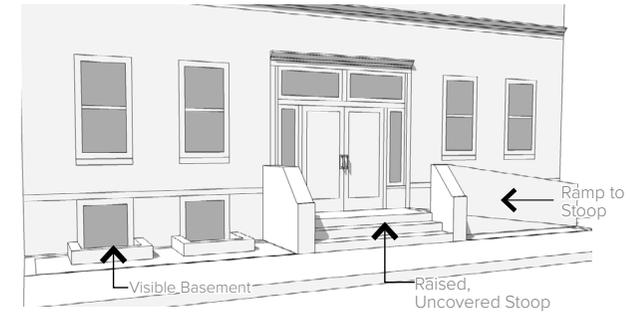


Figure 7-E. Example of Stoop Entrance



Figure 7-D. Example of Elevated Storefront



Figure 7-F. Example of Porch Entrance

CURRENT REGULATIONS

BUSINESS PARK

Sec. 102-276. - Architectural standards.

It is not the intent of the city to restrict design freedom unduly when reviewing project architecture in connection with a site and building plan. However, it is in the best interest of the city to promote high standards of architecture design and compatibility with surrounding structures and neighborhoods.

- (1) Architectural plans shall be prepared by an architect or other qualified person acceptable to the planning department and shall show the following:
 - a. Elevations of all sides of the building;
 - b. Type and color of exterior building materials;
 - c. Typical floor plan;
 - d. Dimensions of all structures; and
 - e. The location of trash containers and of heating, ventilation and air conditioning equipment.
- (2) All buildings shall be finished on all sides with permanent finished materials of consistent quality. Major exterior surfaces of all primary structures shall be face brick, architectural concrete, glass, stucco, synthetic stucco, decorative block, or stone. Precast panels and concrete block may be acceptable if incorporated in a building design that is compatible with other development throughout the district. The determination if precast panels and concrete block are acceptable is in the sole discretion of the planning and zoning commission and city council. A wall surface may use wood, vinyl, or metal, as accent material, provided they are appropriately integrated into the overall building design.
- (3) All rooftop or ground-mounted mechanical equipment, satellite dish antennas, and exterior trash storage areas shall be screened with materials compatible with the principal structure.
- (4) Underground utilities shall be provided for all new and substantially renovated structures.
- (5) Accessory structures, either attached or detached from the primary structure, shall be constructed of identical materials, style, quality, and appearance as the principal structure.
- (6) Screen walls, and exposed areas of retaining walls shall be of a similar type, quality, and appearance as the principal structure.

Sec. 102-277. - Other information.

The staff may require other information to complete the review of a business park. Other requirements may include a traffic study, lighting analysis, and a shadow analysis. All studies and analysis will be paid for by the applicant.

MIXED-USE

Sec. 102-370. - Exterior.

The primary exterior treatment of walls facing a public right-of-way or parking lot on a structure shall be brick, cast concrete, stone, marble or other material similar in appearance and durability. Regular or decorative concrete block, float finish stucco, EIFS-type stucco, cementitious fiber board, or wood clap board may be used on the front facade as a secondary treatment or trim but shall not be a primary exterior treatment of a wall facing a public right-of-way.

DOWNTOWN OVERLAY WEST MAINSTREET OVERLAY

Sec. 102-556. - Materials and detailing.

New buildings and structures, additions and renovations will be constructed to be long lasting and use materials and detailing that maintain the distinct character and harmony of the downtown.

- (1) *Materials.* The following materials are not allowed on the facades or sides of buildings adjacent to public rights-of-way:
 - a. Painted concrete block.
 - b. Aluminum, vinyl or fiberglass siding or roofing materials.
 - c. Precast concrete panels.
- (2) *Approval.* Any exterior material used in new construction or change in exterior materials on more than 50 percent of the front, rear, or side of a building facing a public right-of-way, shall require prior approval of the planning and zoning commission and city council for compliance with the requirements of this subsection and the other provisions of this chapter.

ARTICLE 7

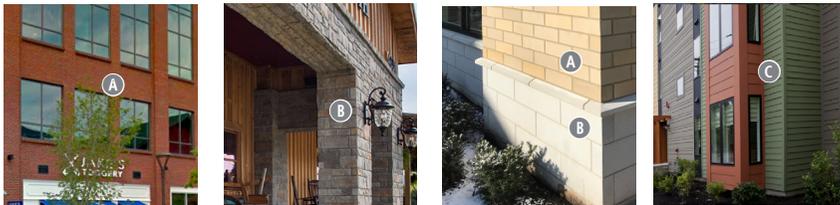
BUILDING DESIGN

Article 7 Building Design 102-740 Facade Materials

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Table 7-1. Allowed Major Facade Materials

MAJOR FACADE MATERIAL (alphabetical)	BUILDING TYPES & ZONES						
	STOREFRONT, GENERAL BUILDINGS			COMMERCIAL HOUSE, ROW BUILDING, TRADITIONAL HOUSE	WORKSHOP-WAREHOUSE	CIVIC BUILDING	
	MX-D, MX-N, RX-D, RX-N, NX2	MX-TOD, RX-TOD, MX-S	IX-TOD, IX-S	MX-N, RX-N, NX1, NX2	IX-TOD, IX-S, I-TOD	ALL	
A Brick full dimensional, economy, unit, face brick	●	●	●	●	●	●	
B Concrete Masonry Units architectural, minimum 3" depth, "artisan stone" look, varied sizes, (Eschelon Masonry or approved equal), "stone" face, "hewn stone", rock cut	–	●	●	–	●	●	
C Fiber Cement Board panels, finished lap siding or shingles	–	–	–	●	–	●	
D Glass curtain wall	–	–	●	–	●	●	
E Metal, Architectural architectural panel, cladding system (steel, titanium, zinc)	–	–	●	–	●	●	
F Stone natural, units	●	●	●	●	●	●	
Stucco cement-based, 2-3 layer hard coat	–	●	●	–	●	●	
G Vinyl & PVC Siding minimum .040 in. thick	–	–	–	●	–	–	
H Wood or Composite Wood painted, stained, charred, or treated lap siding, shingles, board & batten, rainscreen	–	–	–	●	–	–	



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Article 7 Building Design 102-740 Facade Materials

Table 7-2. Allowed Street Facade Minor Materials

All major facade materials allowed on the building type in the zone per [Table 7-1](#) may be used for minor facade materials, unless otherwise listed as prohibited.

MINOR FACADE MATERIAL (alphabetical)	ALLOWED ON BUILDING TYPES	OTHER LIMITATIONS	MAXIMUM AMOUNT ON STREET & OTHER FRONT FACADES
Concrete Surfaces finished, stained, painted, treated	All	Below ground floor only	15%
B Concrete Masonry Units architectural, minimum 3" depth, "artisan stone" look, varied sizes, (Eschelon Masonry or approved equal), "stone" face, "hewn stone", rock cut	All	–	35%
J Concrete Masonry Units minimum 3" depth, split-faced, burnished/ground face, glazed, or honed	Workshop-Warehouse	–	35%
C Fiber Cement Board finished panels	All	Major material is required at grade up to 2 feet and adjacent to entrances	35%
D Glass curtain wall	All except Traditional and Commercial House	–	35%
E Metal Architectural architectural panel, cladding system (steel, titanium, zinc)	All, except buildings in MX-D, RX-D and all Commercial House, Traditional House	Major material is required at grade up to 2 feet and adjacent to entrances	35%
L Stucco synthetic or with elastomeric finishes	All	Only 3rd or higher stories	35%
Stucco cement-based, 2-3 layer hard coat	All	–	35%
Terra Cotta or Ceramic tiles or panels	All	–	35%
H Wood painted, stained, treated, natural, or aged lap siding, shingles, board & batten	All	–	35%
I Wood, Composite lap siding, shingles, board & batten, rainscreen system	All	–	35%



ARTICLE 7

BUILDING DESIGN

Article 7 Building Design 102-740 Facade Materials

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Table 7-3. Allowed Non-Street Facade Materials

All allowed major facade materials and minor facade materials may be used on 100% of non-street facade, unless otherwise indicated below or unless listed as prohibited in Table 7-5.

MINOR FACADE MATERIAL (alphabetical)	ALLOWED ON BUILDING TYPES	OTHER LIMITATIONS	MAXIMUM AMOUNT ON NON-STREET FACADES
Brick thin, veneer	All	–	100%
Concrete Surfaces unfinished, untreated, unstained, unpainted	General and Workshop-Warehouse buildings in IX and I zones only	–	100%
Concrete Surfaces finished, stained, painted, treated	All	–	100%
Concrete Masonry Units minimum 3" depth, split-faced, burnished/ground face, glazed, or honed	All except Traditional and Commercial House, Row	–	100%
Glass Block clear or patterned units without color	All	–	30%
Metal, Aluminum Composite aluminum composite materials (ACM) or panels (ACP)	All except Traditional and Commercial House	Only 3rd or higher stories	30%
Metal, Corrugated, Other ribbed, corrugated, sheet	Workshop-Warehouse	–	100%
Stucco synthetic or with elastomeric finishes	All	Only 3rd or higher stories	30%



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Article 7 Building Design 102-740 Facade Materials

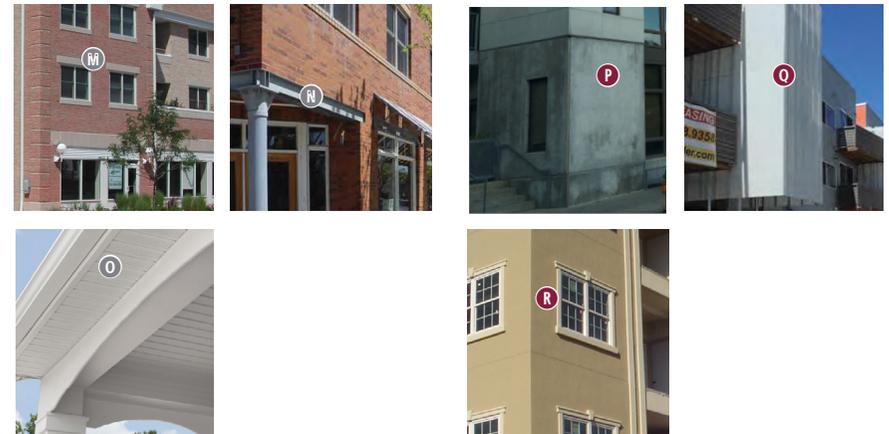
Table 7-4. Allowed Detail & Accent Materials

All allowed major and minor facade materials may be used for details, trim, and accents.

M	Concrete Details precast stone ornamentation, lintels, sills, banding, columns, beams
	Fiber Cement Details trim, soffits
N	Metal Details trim, ornamentation, lintels, beams, columns
	Wood and Wood Composite Details painted/treated trim, soffits, other approved details
O	Vinyl Details limited to soffits, window trim; minimum .04 inches thick

Table 7-5. Prohibited Materials

	Fiberglass and Acrylic Panels all
Q	Plastic Panels all, including high-density polyethylene and polycarbonate panels
R	Stucco Moldings or Synthetic Stucco Moldings trim, sills, cornices, banding, columns, pilasters or other 3 dimensional details
	Wood Unfinished, untreated plywood siding or panels



ARTICLE 7

BUILDING DESIGN

PRINCIPAL ENTRIES



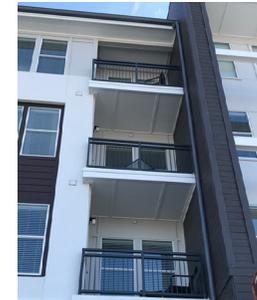
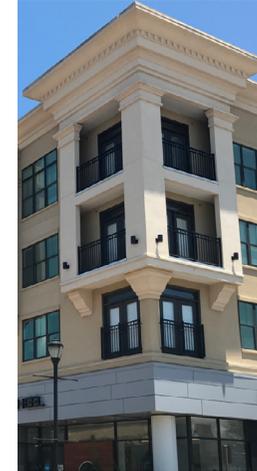
WINDOWS & AWNINGS



Metal Awning



BALCONIES



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CURRENT REGULATIONS

DOWNTOWN OVERLAY WEST MAINSTREET OVERLAY

BUSINESS PARK MIXED-USE

Sec. 102-558. - Streetscape.

The streetscape will be uniform so that it acts to provide continuity throughout the downtown. When a redevelopment project disturbs existing streetscape elements, those items must be replaced with approved city streetscape elements compatible with the character of downtown Hopkins.

Sec. 102-375. - Landscaping.

All open areas of a lot that are not used or improved for required parking areas and drives shall be landscaped with a combination of over-story trees, under-story trees, shrubs, flowers and ground cover materials. The plan for landscaping shall include ground cover, bushes, shrubbery, trees, sculptures, fountains, decorative walks or other similar site design features or materials. The following table is a minimum value for the landscaping:

<i>Project Value</i>	<i>Minimum</i>
Below \$1,000,000.00	2 percent
\$1,000,000.00—\$2,000,000.00 of project value in excess of \$1,000,000.00	\$20,000.00 + 1 percent
\$2,000,000.00—\$3,000,000.00 of project value in excess of \$2,000,000.00	\$30,000.00 + 0.75 percent
\$3,000,000.00—\$4,000,000.00 of project value in excess of \$3,000,000.00	\$37,500.00 + 0.25 percent
Over \$4,000,000.00 value in excess of \$4,000,000.00	1 percent + .10 percent of project

Documentation showing an estimated dollar amount of landscaping shall be provided to the city prior to any approval.

- (b) *Existing materials.* In instances where healthy plant materials of acceptable species as determined by the city forester exist on a site prior to its development, the application of the standards in this subdivision may be adjusted by the city to allow credit for such material, provided that such adjustment is consistent with the intent of this chapter. The city may permit the seeding of areas reserved for future expansion of the development if consistent with the intent of this chapter.
- (c) *Preservation.* A reasonable attempt shall be made to preserve as many existing trees as is practicable and to incorporate them into the site plan. A plan shall be submitted to the city showing the step to be undertaken to preserve the existing trees.
- (d) *Size.* All new over-story trees shall be balled and burlapped or moved from the growing site by tree spade. Deciduous trees shall have a minimum caliper of 2½ inches. Coniferous trees shall be a minimum of six feet in height. Ornamental trees shall have a minimum caliper of 1½ inches.
- (e) *Ground cover.* All site areas not covered by buildings, sidewalks, parking lots, driveways, patios or similar hard surface materials shall be covered with sod or an equivalent ground cover approved by the city. This requirement shall not apply to site areas retained in a natural state.
- (f) *Irrigation.* In order to provide for adequate maintenance of landscaped areas, an underground sprinkler system shall be provided as part of each new development. A sprinkler system shall be provided for all landscaped areas except areas to be preserved in a natural state. The sprinkler system is required to have a sensor for an automatic shut-off to prevent the system from operating when it is raining.
- (g) *Parking areas.* Parking areas shall be landscaped and planted throughout the lot to the extent of at least five percent (excluding landscaping abutting the parking area and any public right-of-way) of the actual surfaced area.
- (h) *Internal plans.* The landscape plan shall also show the pathway system both interior and exterior, width and materials, screening fences with details, lighting system, recreation features, if any.

LANDSCAPE & SITE DESIGN

- Existing Tree Preservation
- Streetscape
- Site Trees
- Ground Vegetation (grasses & shrub beds)
- Parking Lot Plantings

STREET TREES & FRONTAGE BUFFERS

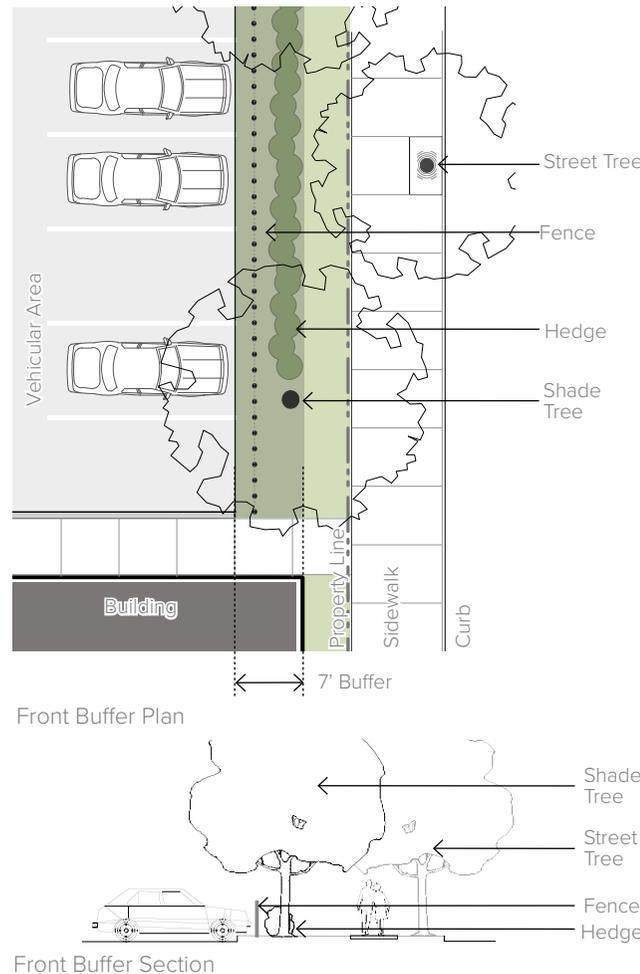


Figure 8-A. Frontage Buffer Plan & Section

SIDE & REAR BUFFERS

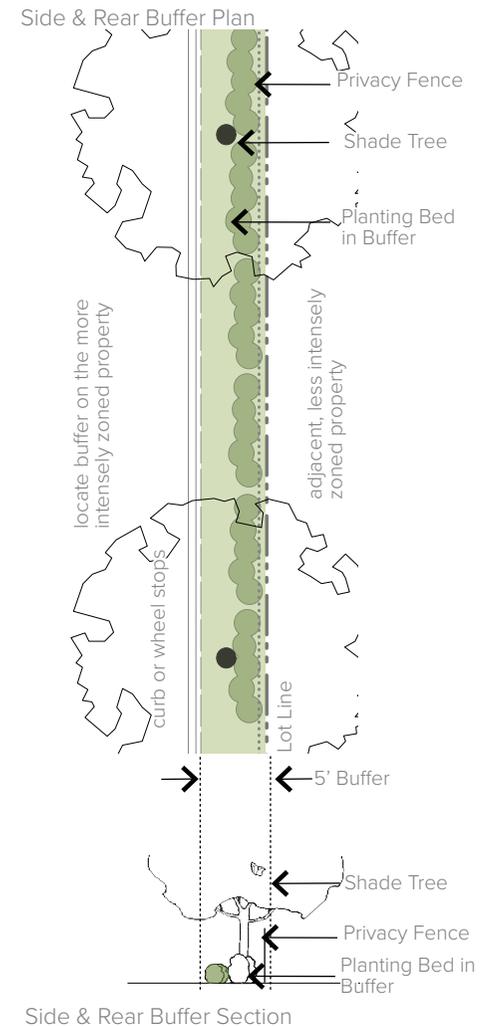


Figure 8-C. Light Buffer

ARTICLE 11

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Based on Minnesota Department of Natural Resources (MDNR) Model Floodplain Ordinance

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Based on existing Article XIV, with no substantive changes

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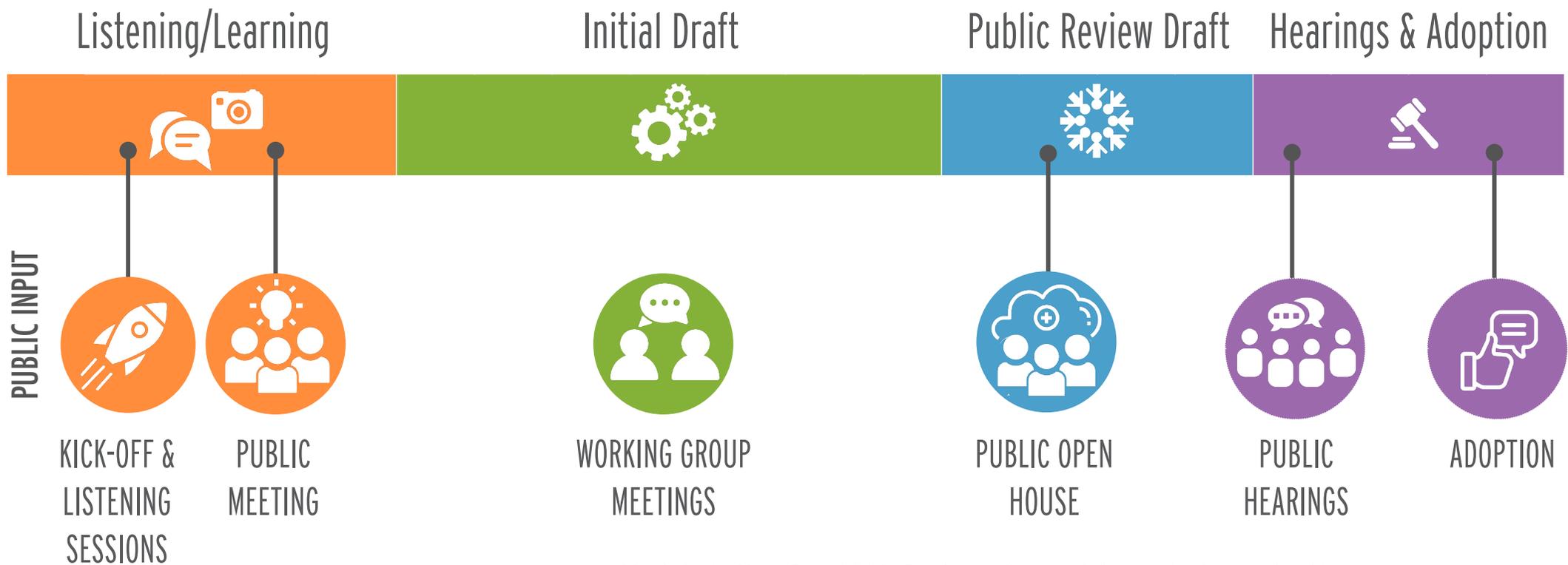
- Reorganization
- Substantial editing (for clarity)
- Adjustments for consistency with state law

ARTICLE 16

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WHERE DO WE GO FROM HERE?



- Module 3: Nov-Dec 2021 (Parking, Signs, Administration, et. al.)
- Consolidated draft (w/ equity-focused changes): Q1 2022
- Public Review Draft: Q1 2022 (March Open House?)
- Hearings/Adoption: Q2 2022

THANK YOU!

