

BLAKE STATION, MASTER PLAN & SITE A

325 BLAKE ROAD, HOPKINS, MN 55343



500 Washington Avenue South, Suite 1080
Minneapolis, MN 55415
p 612.339.5508 | f 612.339.5382
www.esgarch.com

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BUILDING METRICS

SITE	Lot area (SF):	65,026	Lot area (acres):	1.49
SITE A	Project SF:	330,103	FAR (excludes parking):	3.46
	Dwelling units:	220	DUA:	148
	Parking stalls:	256	Parking ratio:	1.16
SITE B	Lot area (SF):	94,317	Lot area (acres):	2.17
	Project SF:	405,413	FAR (excludes parking):	2.72
	Retail SF:	9,013		
	Dwelling units:	250	DUA:	115
	Parking stalls (Retail + Res):	340	Parking ratio:	1.23
*32 parking stalls dedicated to Retail use *1.26 including Retail stalls				
SITE C	Lot area (SF):	122,309	Lot area (acres):	2.81
	Project SF:	443,548	FAR (excludes parking):	2.45
	Dwelling units:	300	DUA:	107
	Parking stalls:	390	Parking ratio:	1.30
SITES A,B,C	Total lot area (SF):	281,652	Total lot area (acres):	6.47
	Total project SF:	1,179,064	Average FAR (excludes parking):	2.88
	Total dwelling units:	770	Average DUA:	123
	Total parking stalls:	986	Average parking ratio:	1.23
SITE PARKING RETAIL AREA	Parallel parking	38		
		11,067 SF		
** LOT AREA SHOWN HERE IS AMOUNT OF OVERALL PARCEL AREA LESS THE TRAVELLED WAY (EXCELSIOR BLVD AND PIERCE AVE) AND PEDESTRAIN EASEMENT AREA (ALONG EXCELSIOR BLVD).				

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	RETAIL	LOBBY/AMENITY	PARKING	SERVICE	CIRCULATION	RESIDENTIAL	GSF	PARKING STALLS
SITE A	LEVEL 7			461	4,514	31,961	36,936	
	LEVEL 6			461	4,514	32,276	37,251	
	LEVEL 5			461	4,514	32,239	37,214	
	LEVEL 4			461	4,514	32,239	37,214	
	LEVEL 3	2,204		486	4,559	29,984	37,233	
	LEVEL 2		39,473	983	2,484	9,606	52,546	99
	LEVEL 1	2,054	9,573	30,223	1,627	2,800	52,803	62
	LEVEL P1			35,679	2,303	924	38,906	95
	2,054	11,777	106,375	7,243	28,823	174,831	330,193	256
							GSF Total	
				220		795		
				412		1500		
				1.16		86%		130

	STUDIO	JR 1 BR	1 BR	1 BR DEN	2 BR	3 BR	2-STORY TOWNHOME 1 BR - LL	2-STORY TOWNHOME 1 BR - UL	2 BR - LL	2 BR - UL
SITE A - Unit Mix	LEVEL 7	1	1	1	1	1	1	1	1	1
	LEVEL 6	1	1	1	1	1	1	1	1	1
	LEVEL 5	1	1	1	1	1	1	1	1	1
	LEVEL 4	1	1	1	1	1	1	1	1	1
	LEVEL 3	1	1	1	1	1	1	1	1	1
	LEVEL 2	1	1	1	1	1	1	1	1	1
	LEVEL 1	1	1	1	1	1	1	1	1	1
	LEVEL P1	1	1	1	1	1	1	1	1	1
	11	34	89	1	67	10	5		3	220
	5.0%	15.5%	40.5%	0.5%	30.5%	4.5%	2.3%		1.4%	

	9'-0" x 18'-0" Standard	ADA	9'-0" x 18'-0" Standard	Compact	9'-0" x 16'-0" Compact	9'-0" x 16'-0" Compact	9'-0" x 16'-0" Tandem	Bike Parking
SITE A - Parking Mix	LEVEL 2	41	2	12	4	12	1	20
	LEVEL 1	42	4	5	4	1	2	100
	LEVEL P1	121	2	32	3	10	0	40
	163	8	29	11	16	23	3	200
	64.4%	3.2%	11.5%	4.3%	6.3%	9.1%	1.2%	

	RETAIL	LOBBY/AMENITY	PARKING	SERVICE	CIRCULATION	RESIDENTIAL	GSF	PARKING STALLS
SITE B	LEVEL 7			146	4,605	36,873	41,624	
	LEVEL 6			146	4,605	36,873	41,624	
	LEVEL 5			146	4,605	36,873	41,624	
	LEVEL 4			146	4,605	36,873	41,624	
	LEVEL 3	2,886		146	4,718	34,233	41,983	
	LEVEL 2		645	43,150	1,725	3,456	65,823	101
	LEVEL 1	9,013	10,330	40,761	2,572	1,941	66,617	88
	LEVEL P1			65,014	606	764	66,494	151
	9,013	13,861	148,925	5,723	29,319	198,572	405,413	340
							GSF Total	
				250		794		
				438		1,622		
				1.25		87%		150

	RETAIL	LOBBY/AMENITY	PARKING	SERVICE	CIRCULATION	RESIDENTIAL	GSF	PARKING STALLS
SITE C	LEVEL 7			507	6,339	45,950	52,796	
	LEVEL 6			507	6,339	45,950	52,796	
	LEVEL 5			507	6,339	45,950	52,796	
	LEVEL 4			507	6,339	45,950	52,796	
	LEVEL 3	2,005		834	6,826	43,480	53,145	
	LEVEL 2		54,260	1,233	2,742	6,562	64,797	147
	LEVEL 1	10,323	45,010	2,735	3,937	4,355	66,360	118
	LEVEL P1		44,764	1,881	1,417		48,062	125
	0	12,328	144,034	8,711	40,278	238,197	443,548	390
							GSF Total	
				300		794		
				369		1,478		
				1.30		83%		165

PROJECT LOCATION



Neighborhood Context Map



Site Location

PROJECT TEAM

- OWNER/DEVELOPER:** Trilogy Real Estate Group, LLC
520 West Erie Street Suite 100
Chicago, IL 60654
Ph: (312) 750-0900 Ext. 125
- ARCHITECT:** ESG Architecture & Design
500 Washington Ave. South, Suite 1080
Minneapolis, MN 55415
Ph: 612-339-5508
- LANDSCAPE ARCHITECT:** Damon Farber Landscape Architects
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Ph: 612-332-7522
- CIVIL ENGINEER:** Kimley-Horn
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Ph: 651-645-4197
- STRUCTURAL ENGINEER:** MBJ
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Edina, MN 55439
Ph: 952-930-0050

LUA SUBMITTAL
6/25/2021

ORIGINAL ISSUE:
08/20/20

REVISIONS:
No. Description Date

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KEY PLAN

BLAKE STATION, MASTER PLAN

TITLE SHEET
T1-1

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LUA SUBMITTAL
4/23/2021

ORIGINAL ISSUE:
08/12/20

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CONTEXT MAP & IMAGES

A1-0



1. FROM WEST OF EXCELSIOR BLVD, LOOKING NORTHEAST



2. EXCELSIOR BLVD, LOOKING NORTHWEST



3. FROM EXCELSIOR BLVD & BLAKE RD, LOOKING NORTHWEST

MULTIFAMILY RESIDENTIAL
 COMMERCIAL
 INDUSTRIAL/WAREHOUSE
 EDUCATION/RECREATION

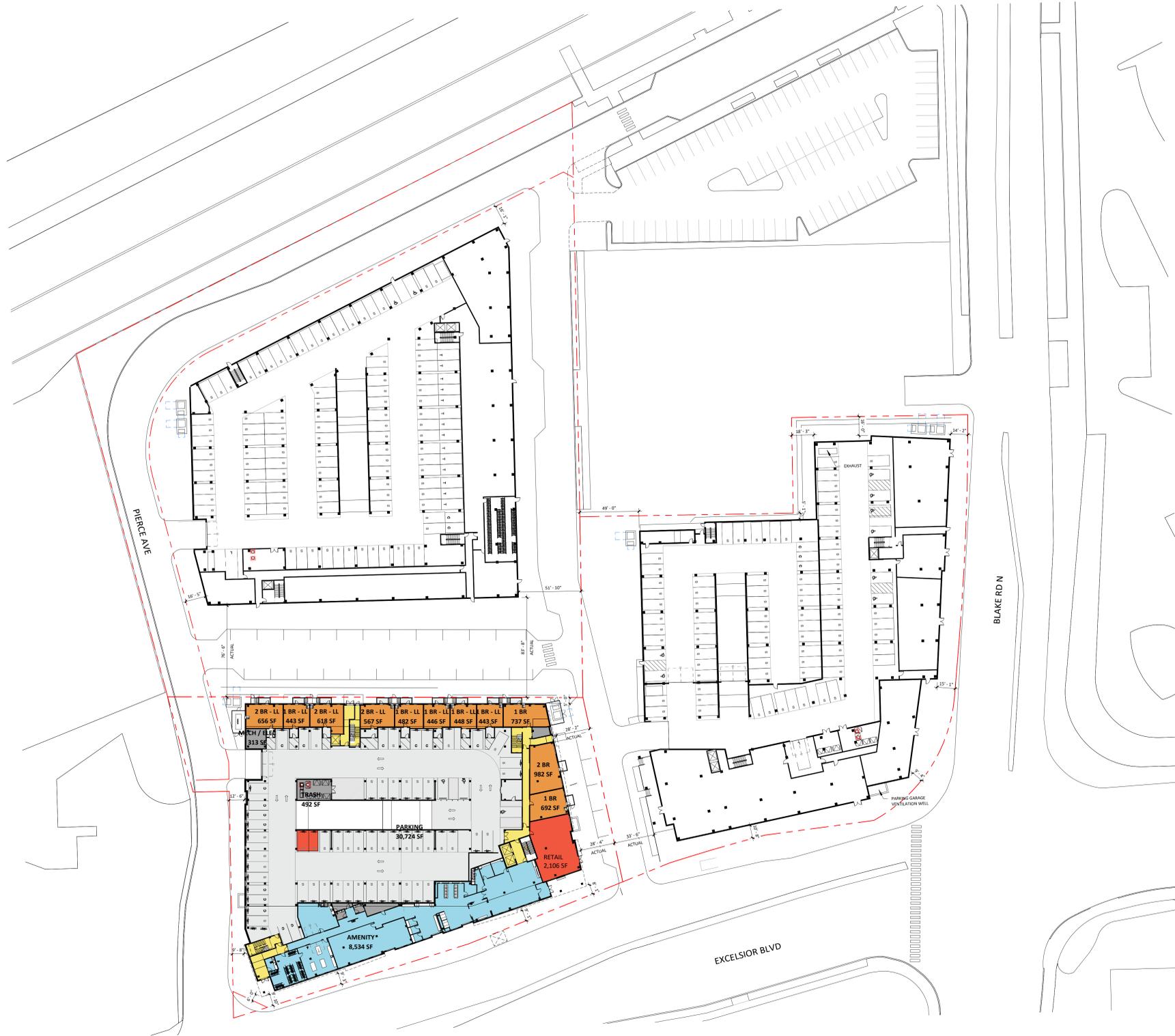
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MARKETING COLOR LEGEND

- AMENITY
- COMMON / CIRCULATION
- PARKING
- RESIDENTIAL
- RETAIL
- SERVICE

1 MASTER PLAN
A1-1 1" = 40'-0"

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MASTER PLAN

A1-1



VIEW WEST ON EXCELSIOR BOULEVARD



VIEW OF LINEAR PARK



WALK UP UNITS OF SITE A



VIEW NORTHEAST ON EXCELSIOR BOULEVARD AT PIERCE AVENUE

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BLAKE STATION, MASTER PLAN

DESIGN PERSPECTIVES

A1-2

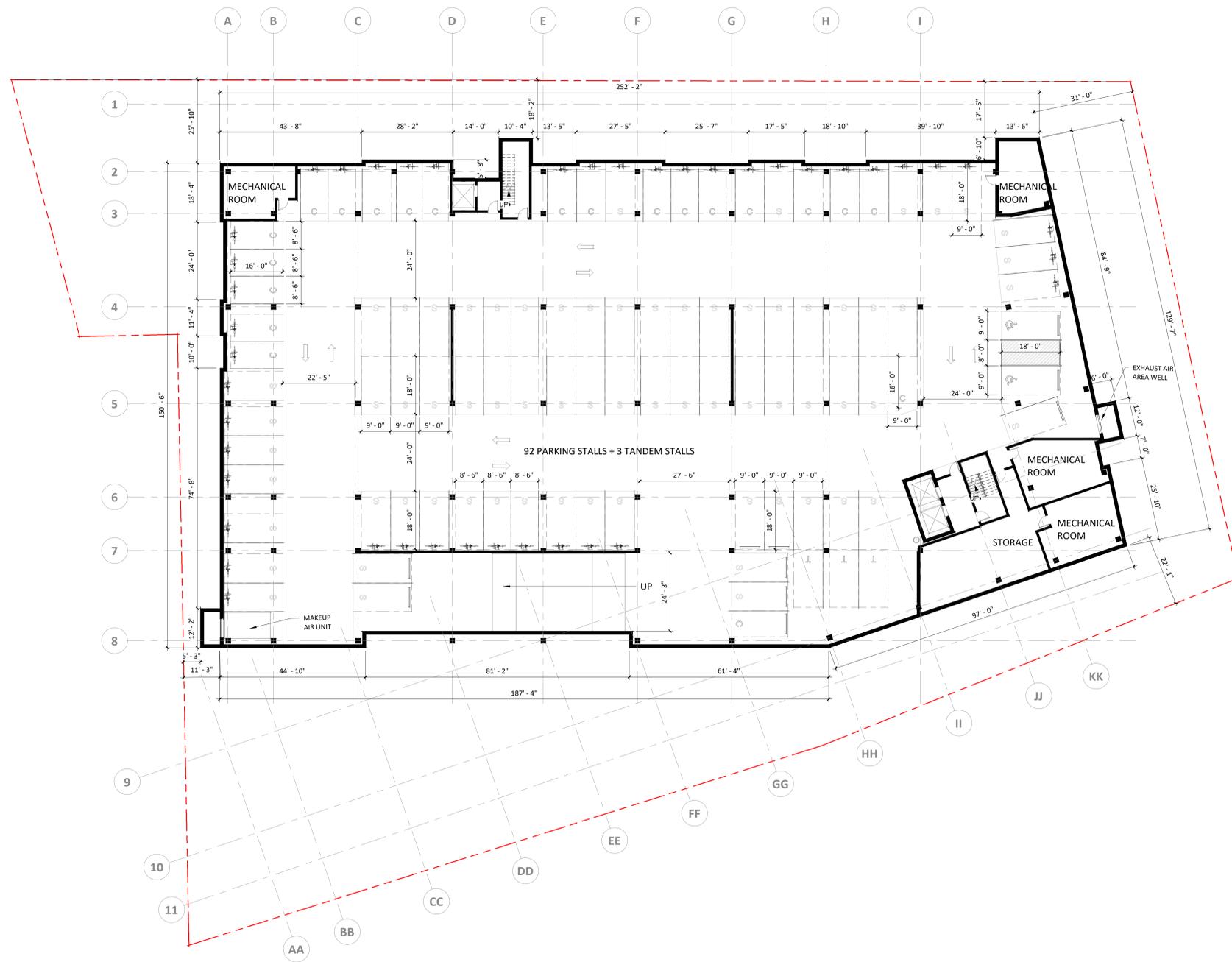
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1 SITE A - LOWER LEVEL
A1-3 1/16" = 1'-0"

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BLAKE STATION, MASTER
PLAN

LEVEL P1 PLAN

A1-3

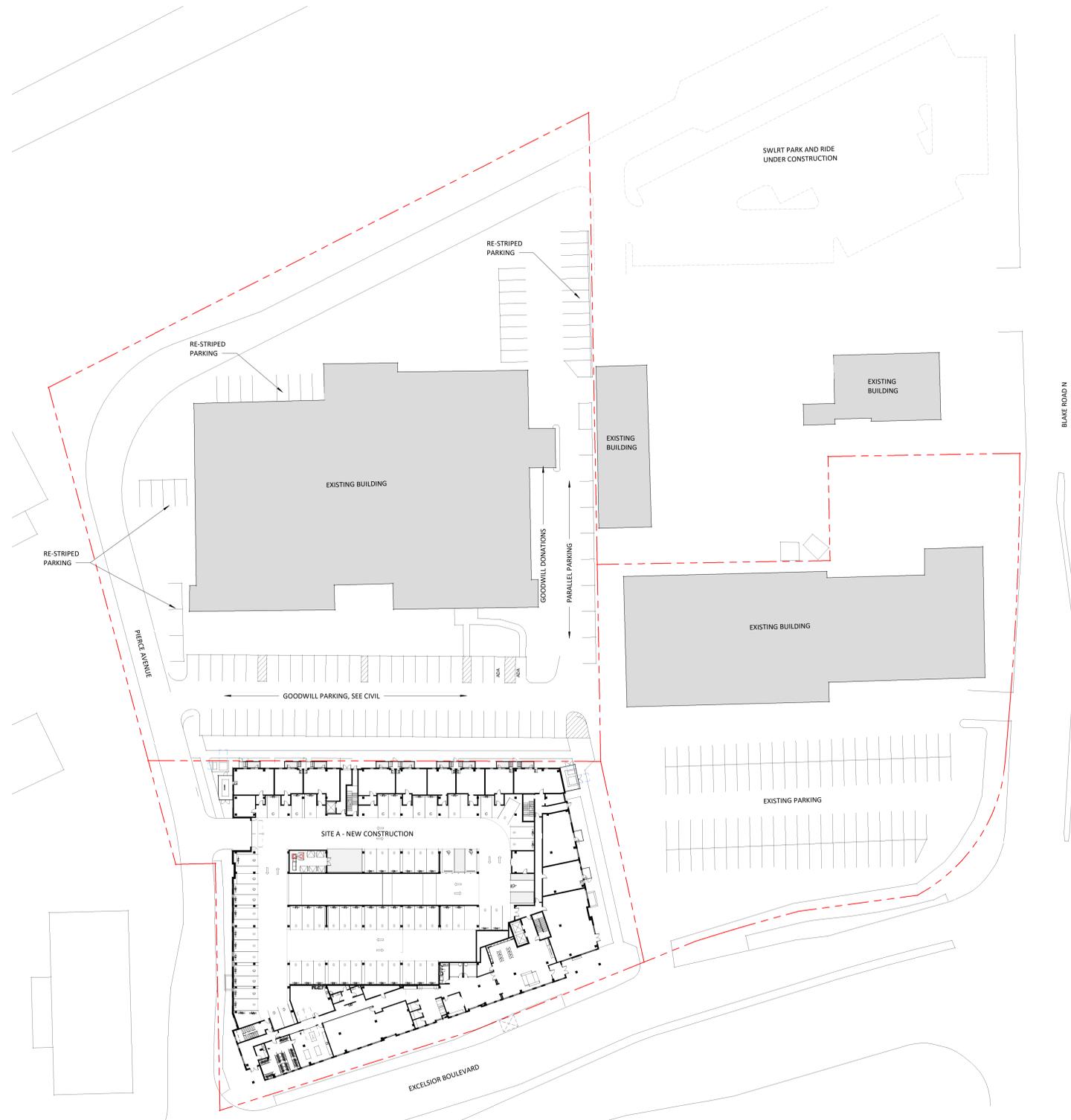
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1 SITE A INTERIM PARKING PLAN
A1-3a 1" = 40'-0"

LUA SUBMITTAL
6/25/2021

ORIGINAL ISSUE:
06/24/21

REVISIONS:
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BLAKE STATION, MASTER PLAN

INTERIM PARKING PLAN

A1-3a

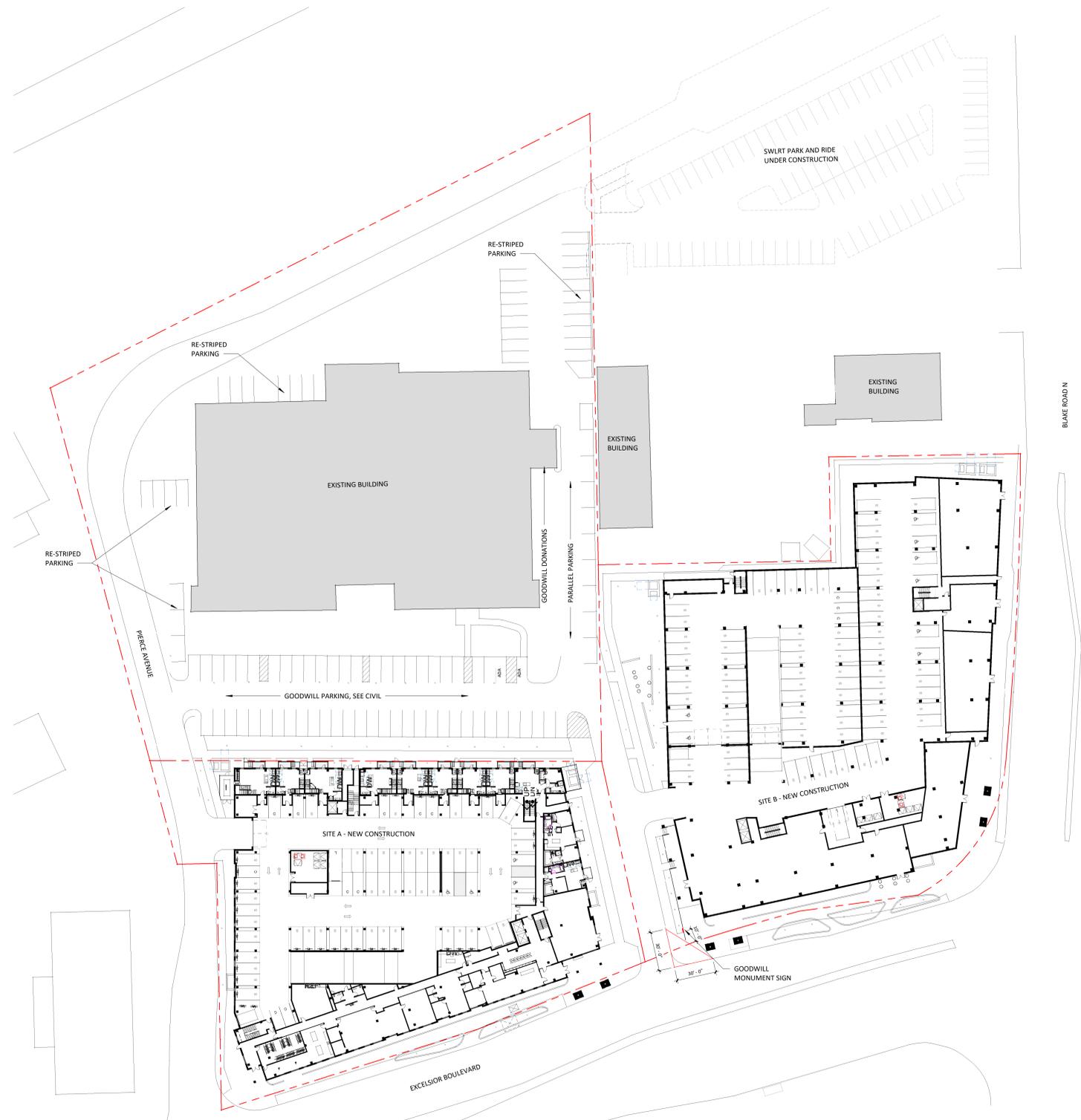
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1 SITE A & B INTERIM PARKING PLAN
A1-3b 1" = 40'-0"

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4/23/2021

ORIGINAL ISSUE:
09/11/20

REVISIONS:
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INTERIM PARKING PLAN

A1-3b

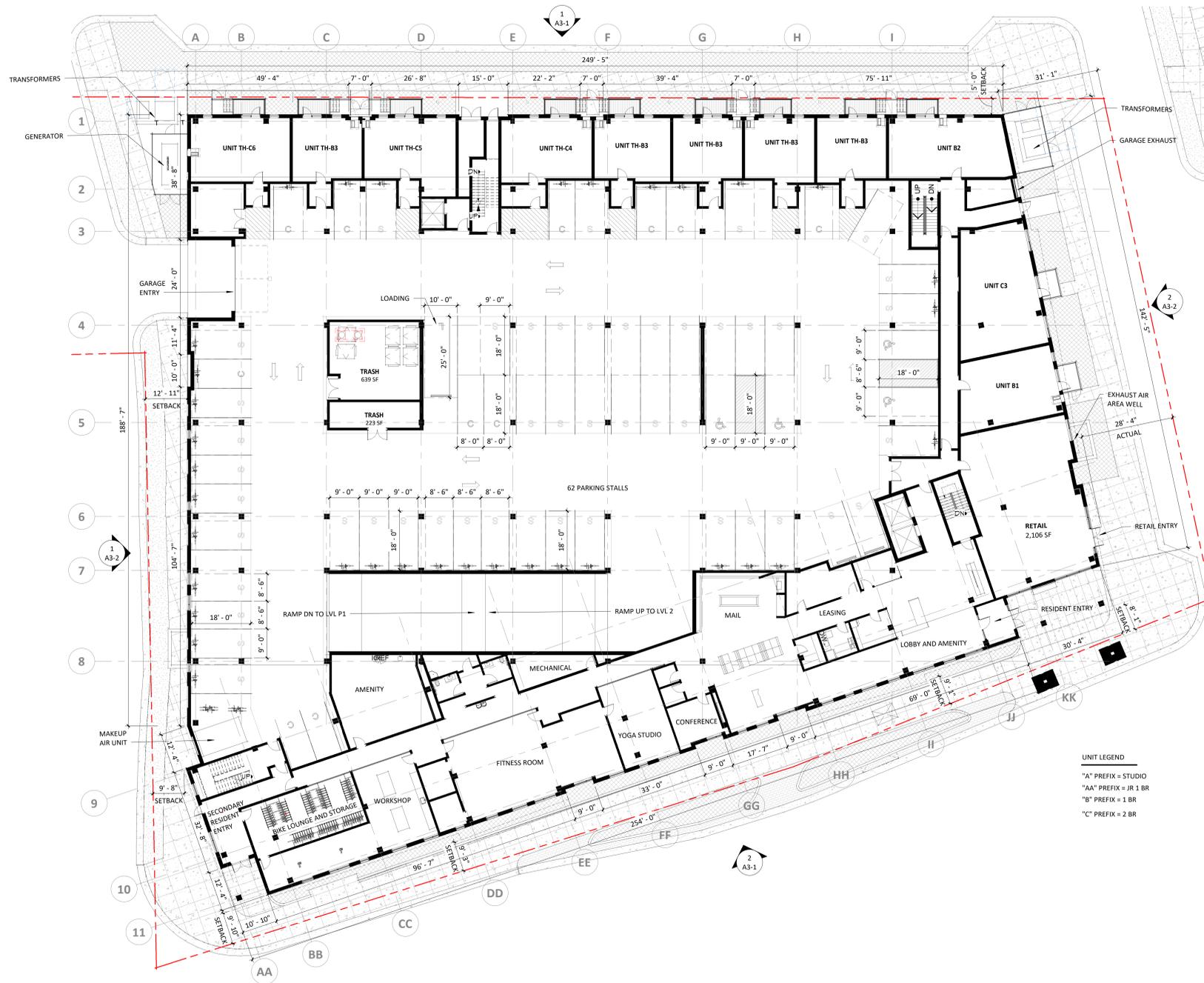
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UNIT LEGEND
"A" PREFIX = STUDIO
"AA" PREFIX = JR 1 BR
"B" PREFIX = 1 BR
"C" PREFIX = 2 BR

1 SITE A - LEVEL 1
A1-4 1/16" = 1'-0"

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LEVEL 1 PLAN

A1-4

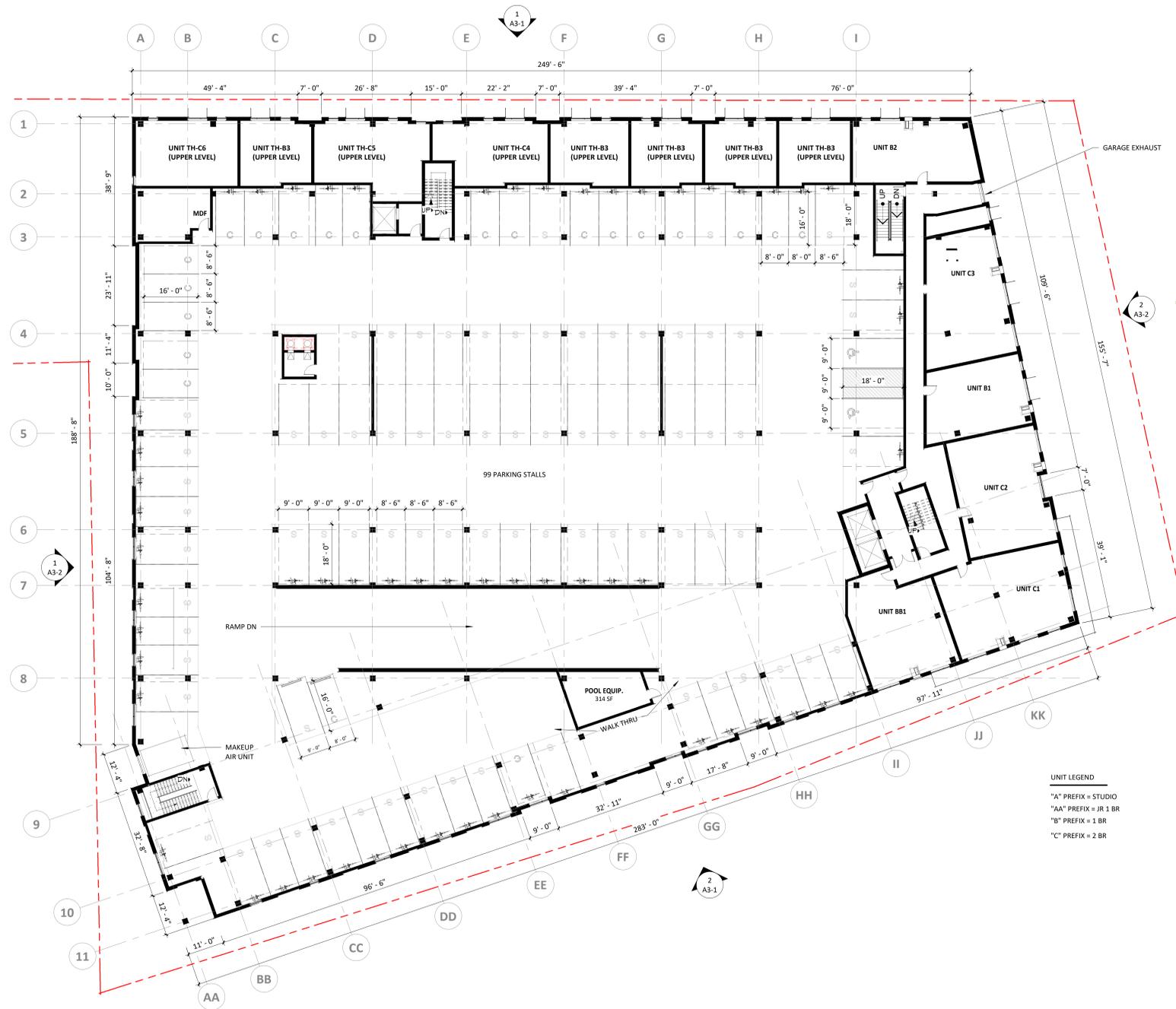
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UNIT LEGEND
"A" PREFIX = STUDIO
"AA" PREFIX = JR 1 BR
"B" PREFIX = 1 BR
"C" PREFIX = 2 BR

1 SITE A - LEVEL 2
A1-5
1/16" = 1'-0"

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BLAKE STATION, MASTER PLAN

LEVEL 2 PLAN

A1-5

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UNIT LEGEND
"A" PREFIX = STUDIO
"AA" PREFIX = JR 1 BR
"B" PREFIX = 1 BR
"C" PREFIX = 2 BR

1 SITE A - LEVEL 3
A1-6 1/16" = 1'-0"

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4/23/2021

ORIGINAL ISSUE:
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BLAKE STATION, MASTER
PLAN

LEVEL 3 PLAN

A1-6

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UNIT LEGEND
"A" PREFIX = STUDIO
"AA" PREFIX = JR 1 BR
"B" PREFIX = 1 BR
"C" PREFIX = 2 BR

1 SITE A - LEVELS 4-6
A1-7 1/16" = 1'-0"

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BLAKE STATION, MASTER PLAN

LEVEL 4-6 PLANS

A1-7

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UNIT LEGEND
"A" PREFIX = STUDIO
"AA" PREFIX = JR 1 BR
"B" PREFIX = 1 BR
"C" PREFIX = 2 BR

1 SITE A - LEVEL 7
A1-8 1/16" = 1'-0"

LUA SUBMITTAL
4/23/2021

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08/20/20

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BLAKE STATION, MASTER PLAN

LEVEL 7 PLAN

A1-8

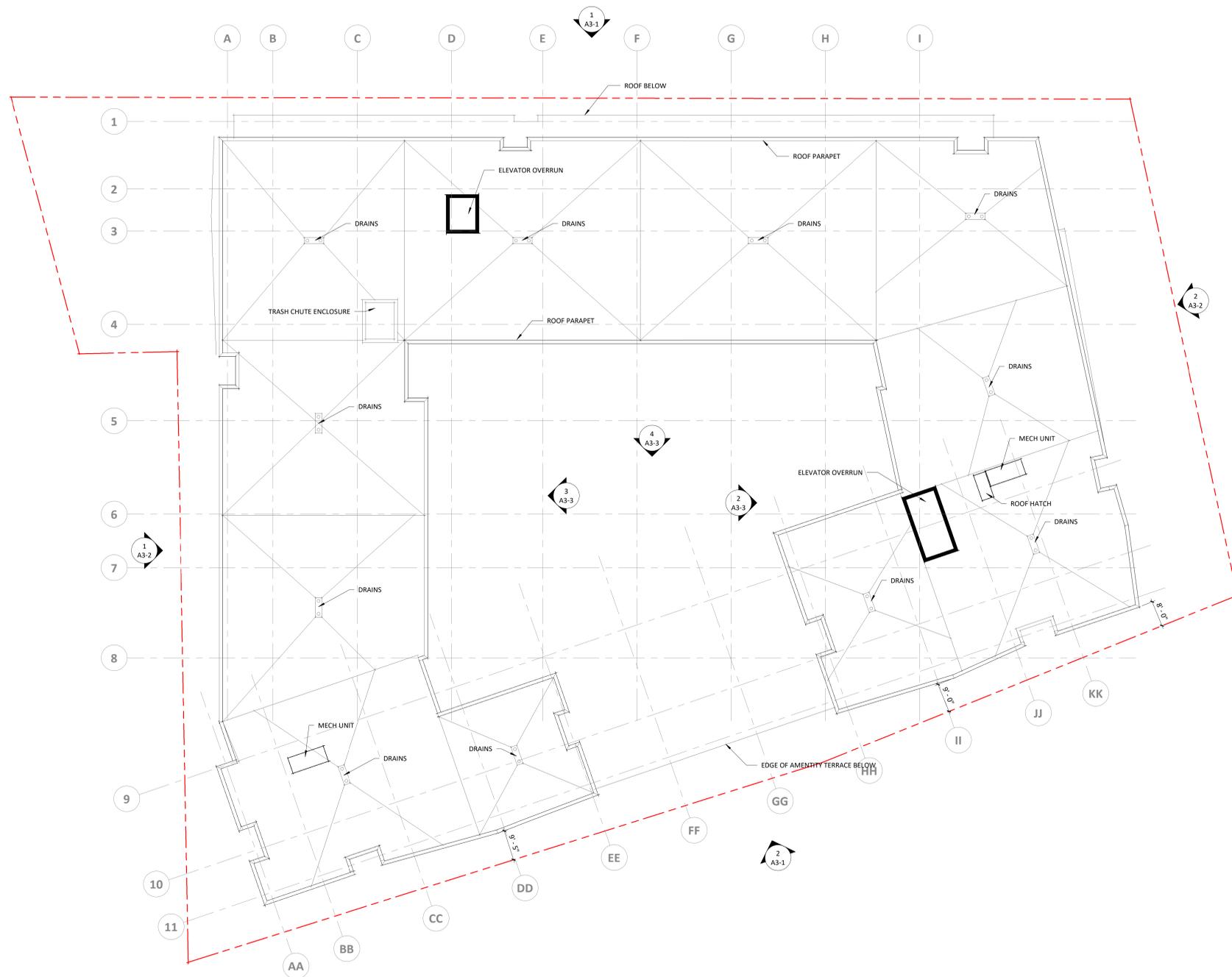
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1 SITE A - ROOF PLAN
A1-9 1/16" = 1'-0"

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BLAKE STATION, MASTER
PLAN

ROOF PLAN

A1-9

NOT FOR CONSTRUCTION

SITE A: MATERIAL CALCULATIONS					
		NORTH	SOUTH	EAST	WEST
GLASS		29%	32%	30%	27%
METAL PANEL	TILE SIDING	33%	42%	40%	18%
	SMOOTH TILE	5%	9%	7%	7%
BRICK VENEER		21%	13%	14%	19%
FIBER CEMENT LAP SIDING		12%	4%	8%	29%



1 NORTH ELEVATION - LUA
A3-1 3/32" = 1'-0"

SITE A: MATERIAL CALCULATIONS					
		NORTH	SOUTH	EAST	WEST
GLASS		29%	32%	30%	27%
METAL PANEL	TILE SIDING	33%	42%	40%	18%
	SMOOTH TILE	5%	9%	7%	7%
BRICK VENEER		21%	13%	14%	19%
FIBER CEMENT LAP SIDING		12%	4%	8%	29%



2 SOUTH ELEVATION - LUA
A3-1 3/32" = 1'-0"

SD PRICING SET
5/6/2021

ORIGINAL ISSUE:		
08/12/20		
REVISIONS:		
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BLAKE STATION, MASTER PLAN
NORTH & SOUTH ELEVATIONS

A3-1

SITE A: MATERIAL CALCULATIONS					
	NORTH	SOUTH	EAST	WEST	
GLASS	29%	32%	30%	27%	
METAL PANEL	TILE SIDING	33%	42%	40%	18%
	SMOOTH TILE	5%	9%	7%	7%
BRICK VENEER		21%	13%	14%	19%
FIBER CEMENT LAP SIDING		12%	4%	8%	29%



1 WEST ELEVATION - LUA
A3-2 3/32" = 1'-0"

SITE A: MATERIAL CALCULATIONS					
	NORTH	SOUTH	EAST	WEST	
GLASS	29%	32%	30%	27%	
METAL PANEL	TILE SIDING	33%	42%	40%	18%
	SMOOTH TILE	5%	9%	7%	7%
BRICK VENEER		21%	13%	14%	19%
FIBER CEMENT LAP SIDING		12%	4%	8%	29%



2 EAST ELEVATION - LUA
A3-2 3/32" = 1'-0"



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SD PRICING SET
5/6/2021

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BLAKE STATION, MASTER PLAN

WEST & EAST ELEVATIONS

A3-2

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SITE A: MATERIAL CALCULATIONS - COURTYARD ELEVATIONS					
		NORTH	SOUTH	EAST	WEST
GLASS		39%	25%	34%	25%
METAL PANEL	TILE SIDING	0%	71%	15%	51%
	SMOOTH TILE	2%	2%	2%	1%
FIBER CEMENT LAP SIDING		59%	0%	49%	22%
WOOD ACCENT SIDING		0%	2%	0%	1%



1 NORTH COURTYARD ELEVATION
A3-3 3/32" = 1'-0"



4 SOUTH COURTYARD ELEVATION
A3-3 3/32" = 1'-0"



3 EAST COURTYARD ELEVATION
A3-3 3/32" = 1'-0"



2 WEST COURTYARD ELEVATIONS
A3-3 3/32" = 1'-0"

LUA SUBMITTAL
4/23/2021

ORIGINAL ISSUE:
08/20/20

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BLAKE STATION, MASTER PLAN

COURTYARD ELEVATIONS
A3-3



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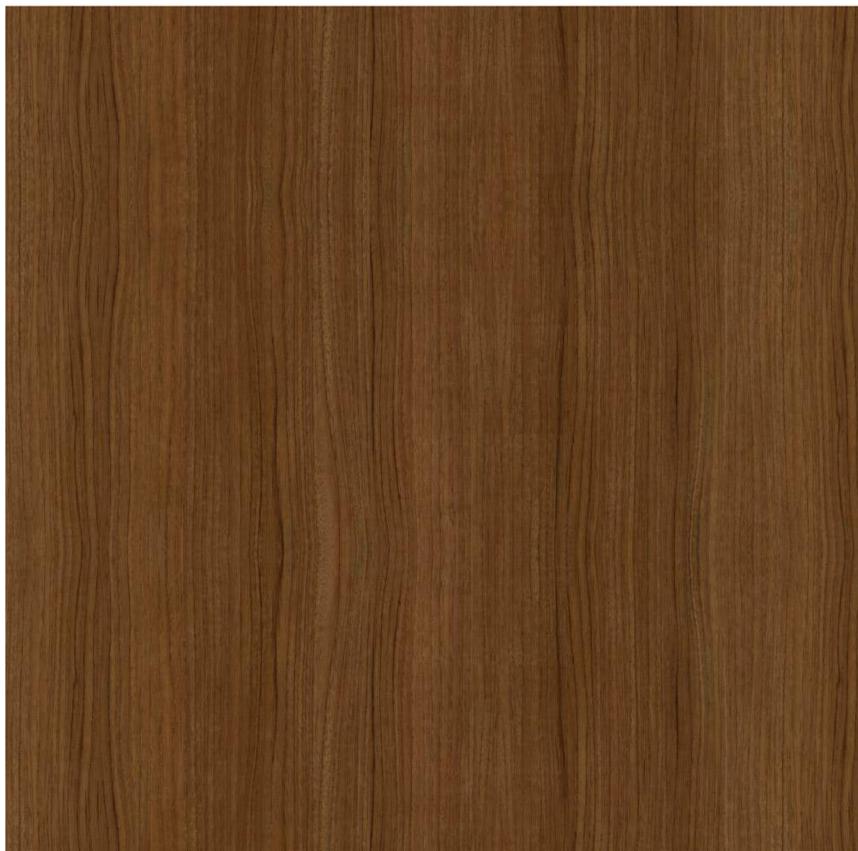
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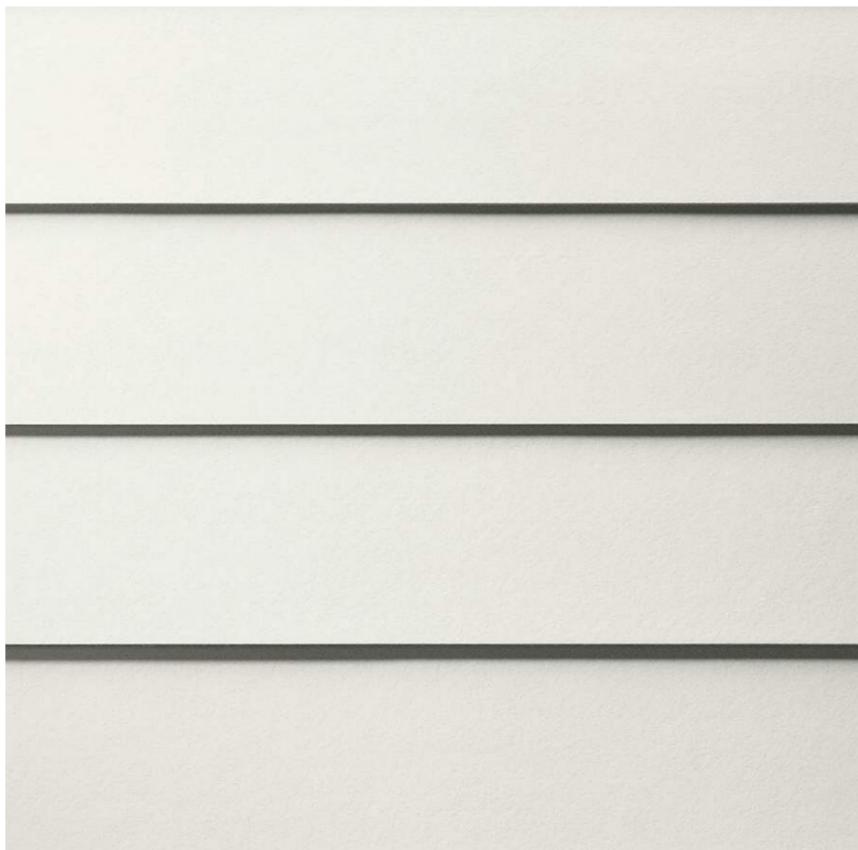
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WOOD ACCENTS - WALNUT



METAL TILE - WARM GRAY



FIBER CEMENT LAP SIDING - LINEN



BRICK VENEER - MEDIUM IRONSPOT

LUA SUBMITTAL
4/23/2021

ORIGINAL ISSUE:
09/11/20

No.	Description	Date

220503
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KEY PLAN

BLAKE STATION, MASTER
PLAN

EXTERIOR MATERIALS

A3-4

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KEY PLAN

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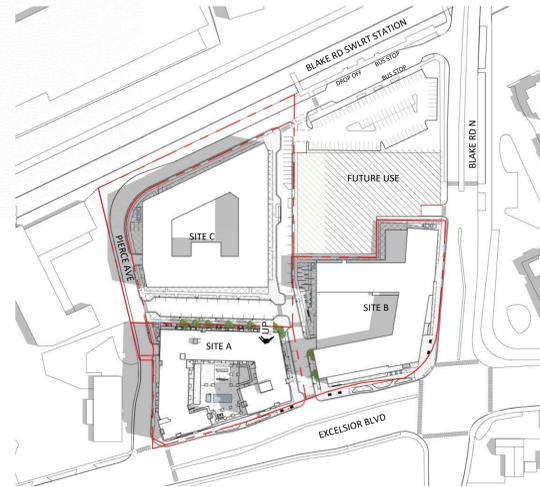
BLAKE STATION, MASTER PLAN

SHADOW STUDIES

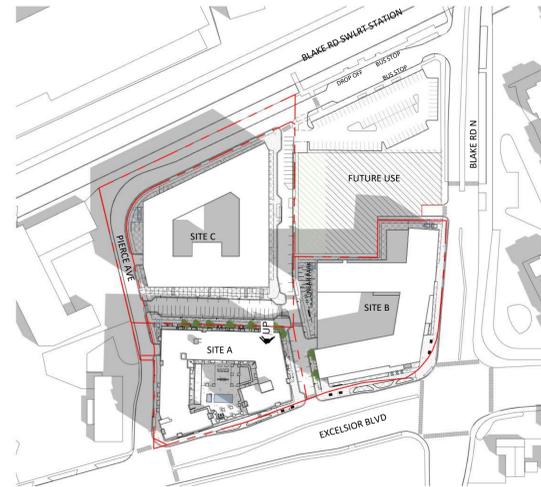
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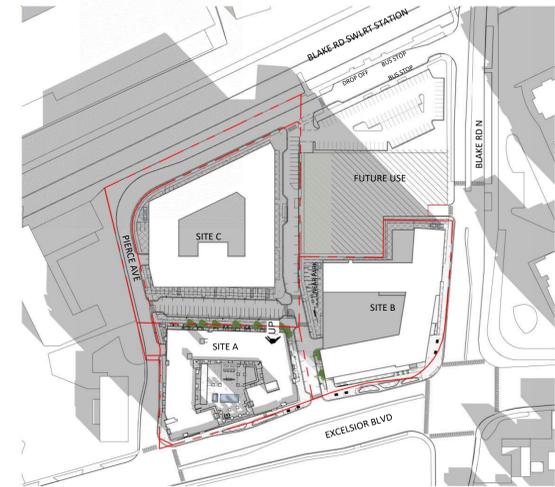
SHADOW STUDY - MARCH 9 AM



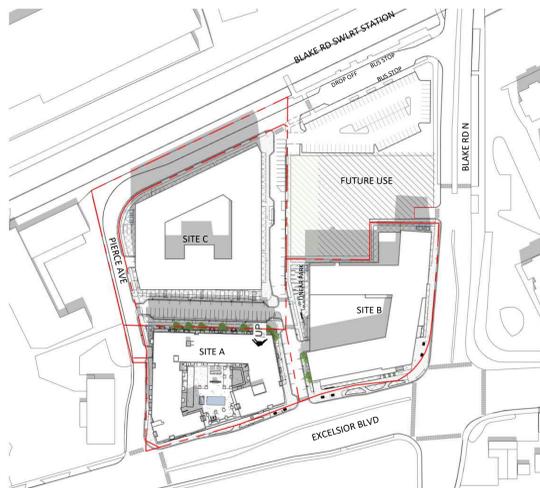
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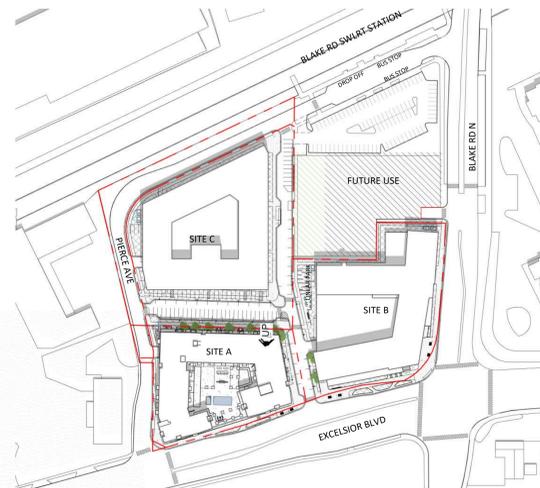
SHADOW STUDY - SEPTEMBER 9 AM



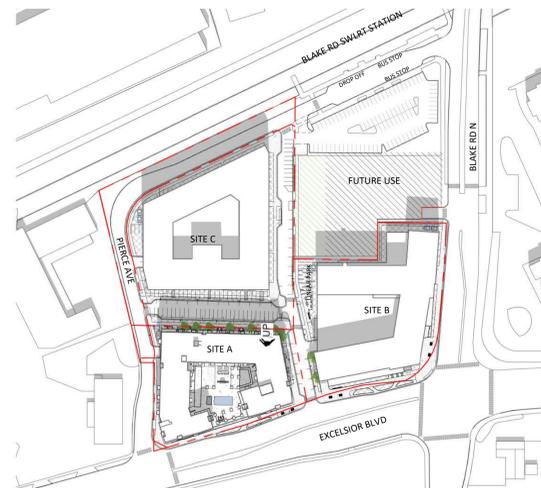
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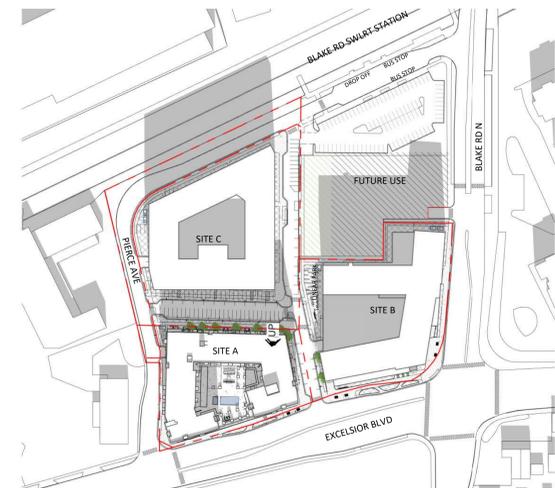
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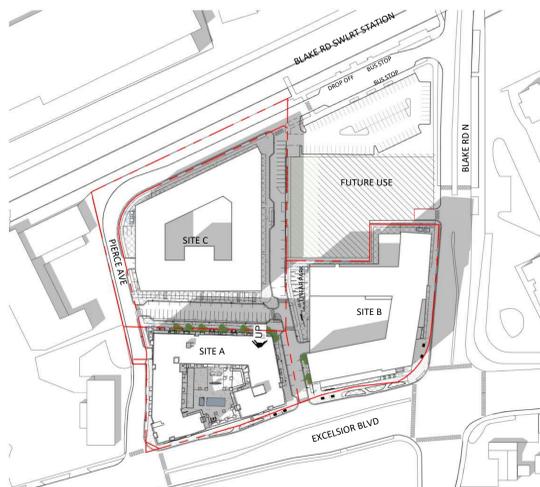
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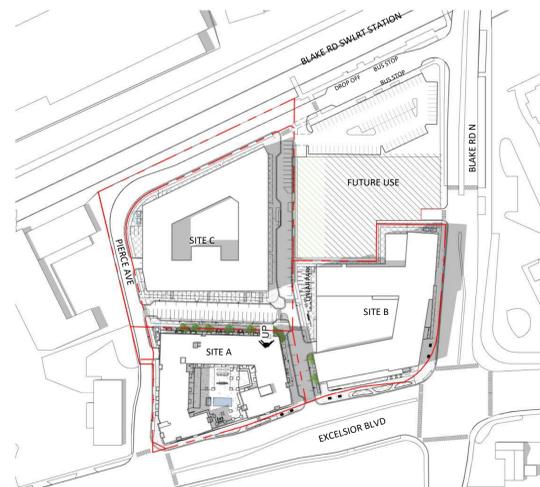
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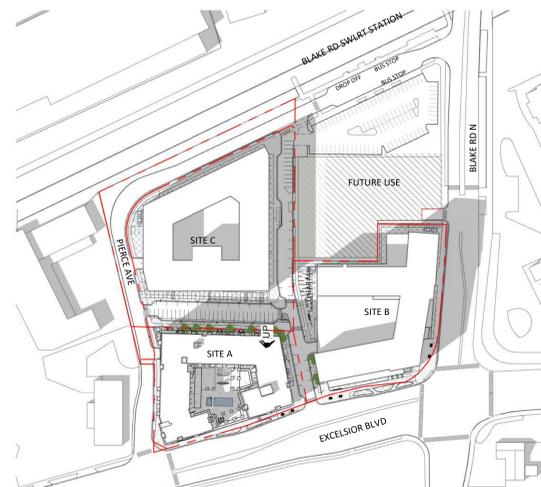
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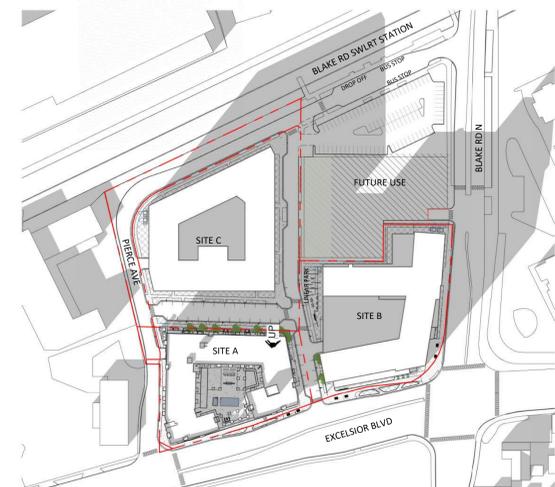
SHADOW STUDY - MARCH 3 PM



SHADOW STUDY - JUNE 3 PM



SHADOW STUDY - SEPTEMBER 3 PM



SHADOW STUDY - DECEMBER 3 PM

NOT FOR CONSTRUCTION

LUA SUBMITTAL

04/23/2021

ORIGINAL ISSUE:

REVISIONS:
 No. Description Date

160192000
 PROJECT NUMBER

BPG TDS
 DRAWN BY CHECKED BY

KEY PLAN

Blake Road Station

DEMO PLAN - SITE A

C200

LEGEND

- PROPERTY LINE
- REMOVE BITUMINOUS SURFACE
- REMOVE CONCRETE SURFACE
- REMOVE BUILDING
- CLEARING & GRUBBING
- FULL DEPTH SAWCUT
- REMOVE ITEM
- REMOVE CONCRETE CURB & GUTTER
- REMOVE UTILITY LINES
- LIMITS OF CONSTRUCTION
- EXISTING OVERHEAD POWER LINE
- EXISTING CHAINLINK FENCE
- EXISTING RETAINING WALL
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- GAS
- EXISTING GAS MAIN
- TEL
- EXISTING UNDERGROUND TELEPHONE
- CTV
- EXISTING UNDERGROUND CABLE
- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING SIGN
- EXISTING FLARED END SECTION
- EXISTING STORM MANHOLE
- EXISTING STORM CATCHBASIN
- EXISTING GAS METER
- EXISTING POST INDICATOR VALVE
- EXISTING WELL
- EXISTING AUTOMATIC SPRINKLER
- EXISTING ROOF DRAIN
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING METAL COVER
- EXISTING ELECTRICAL METER
- EXISTING AIR CONDITIONER
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE BOX
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING LIGHT POLE

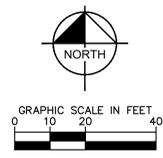
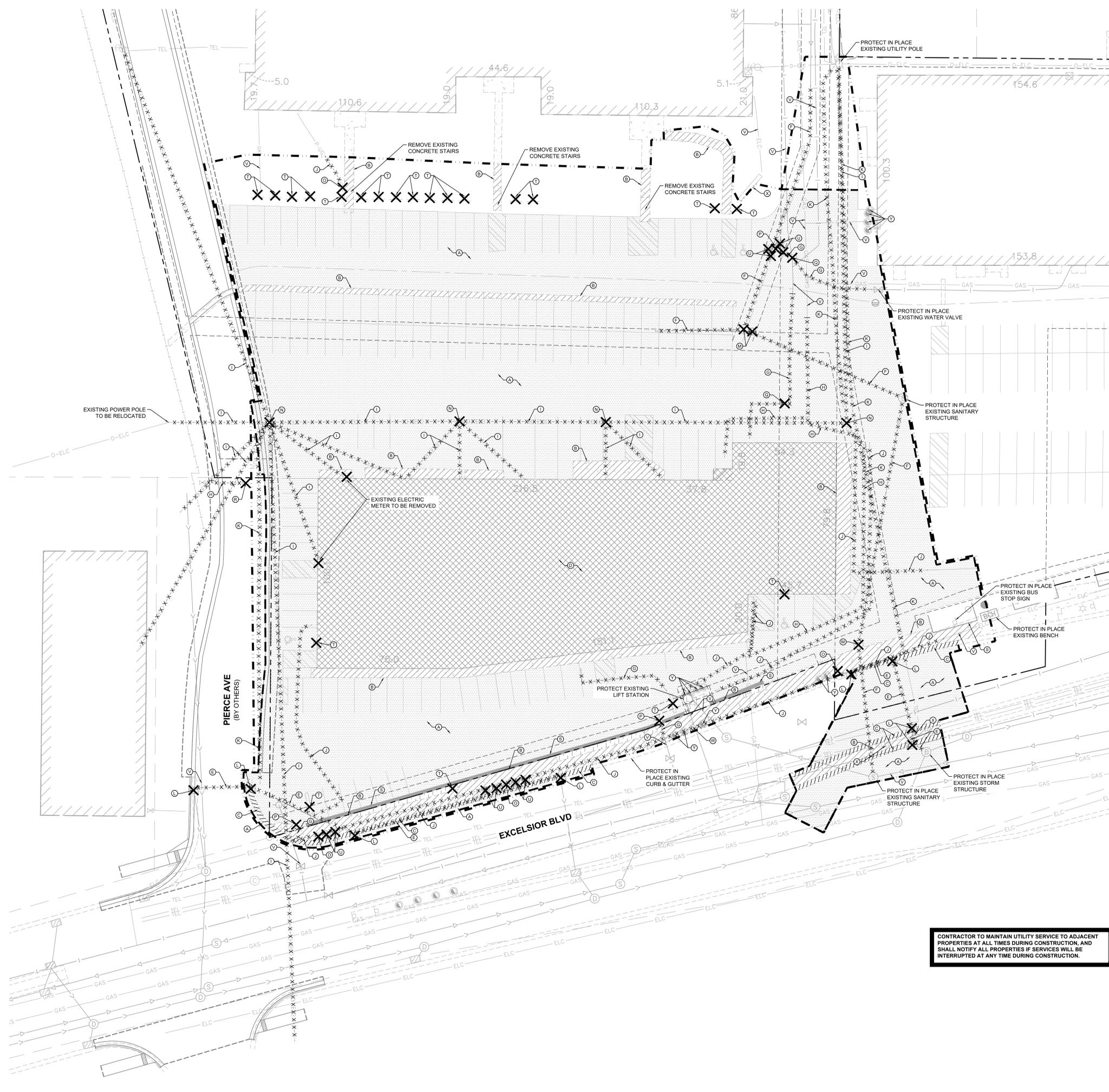
DEMOLITION PLAN NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVS, WALLS, FLOORS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH HOPKINS, HENNEPIN COUNTY AND MINNESOTA DOT.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF HOPKINS DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MINNESOTA REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

KEYNOTE LEGEND

- (A) REMOVE EXISTING BITUMINOUS PAVEMENT
- (B) REMOVE EXISTING CONCRETE PAVEMENT
- (C) REMOVE EXISTING CURB & GUTTER
- (D) REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATIONS/FATIGUES
- (E) REMOVE EXISTING STORM SEWER
- (F) REMOVE EXISTING SANITARY SEWER
- (G) REMOVE EXISTING WATER MAIN
- (H) REMOVE EXISTING GAS MAIN
- (I) REMOVE EXISTING OVERHEAD ELECTRIC
- (J) REMOVE EXISTING UNDERGROUND POWER
- (K) REMOVE EXISTING TELEPHONE LINE
- (L) REMOVE EXISTING STORM STRUCTURE
- (M) REMOVE EXISTING SANITARY STRUCTURE
- (N) REMOVE EXISTING UTILITY POLE
- (O) REMOVE EXISTING LIGHT POLE
- (P) REMOVE EXISTING HYDRANT
- (Q) REMOVE EXISTING WATER VALVE
- (R) REMOVE EXISTING GAS VALVE
- (S) REMOVE EXISTING RETAINING WALL
- (T) REMOVE EXISTING SIGNAGE
- (U) REMOVE EXISTING BOLLARDS
- (V) PROTECT IN PLACE EXISTING UTILITIES
- (W) PROTECT IN PLACE EXISTING LIGHT POLE
- (X) PROTECT IN PLACE EXISTING SIGNAGE OR SALVAGE AND REINSTALL
- (Y) PROTECT IN PLACE EXISTING BOLLARDS

CONTRACTOR TO MAINTAIN UTILITY SERVICE TO ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF SERVICES WILL BE INTERRUPTED AT ANY TIME DURING CONSTRUCTION.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota.

Signature
 TRISHA D. SEH
 Typed or Printed Name
 49848 04/23/2021
 License # Date

NOT FOR CONSTRUCTION

LEGEND

	PROPERTY LINE
	ROCK ENTRANCE
	INLET PROTECTION
	LIMITS OF DISTURBANCE
	BIOROLL
	BIOROLL
	SURFACE DRAINAGE DIRECTION

EROSION CONTROL PLAN NOTES

1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
3. THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
4. WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOG, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
6. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
7. ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
8. REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
9. THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
10. IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

SEQUENCE OF CONSTRUCTION:

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

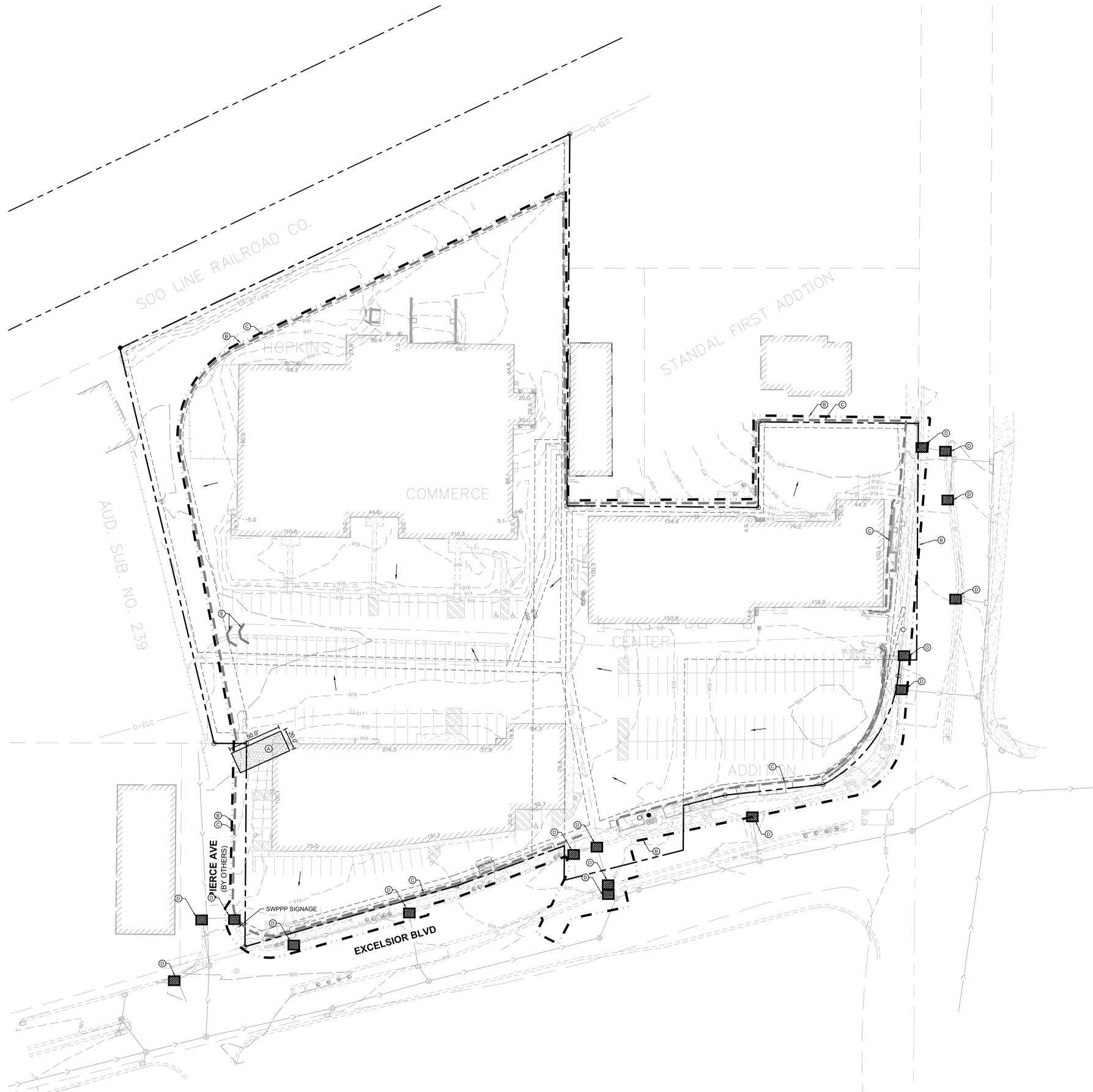
BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:

1. INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
5. PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
7. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF HOPKINS GRADING PERMIT.

KEYNOTE LEGEND

- (A) CONSTRUCTION ENTRANCE
- (B) LIMITS OF DISTURBANCE, OFFSET FOR CLARITY
- (C) BIOROLL
- (D) INLET PROTECTION
- (E) BIOROLL

BMP QUANTITIES		
BMP	UNIT	QUANTITY
CONSTRUCTION ENTRANCE	EA.	1
BIOROLL	LF	2,405
INLET PROTECTION	EA.	16



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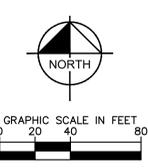
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KEY PLAN

Blake Road Station

OVERALL EROSION AND SEDIMENT CONTROL PLAN

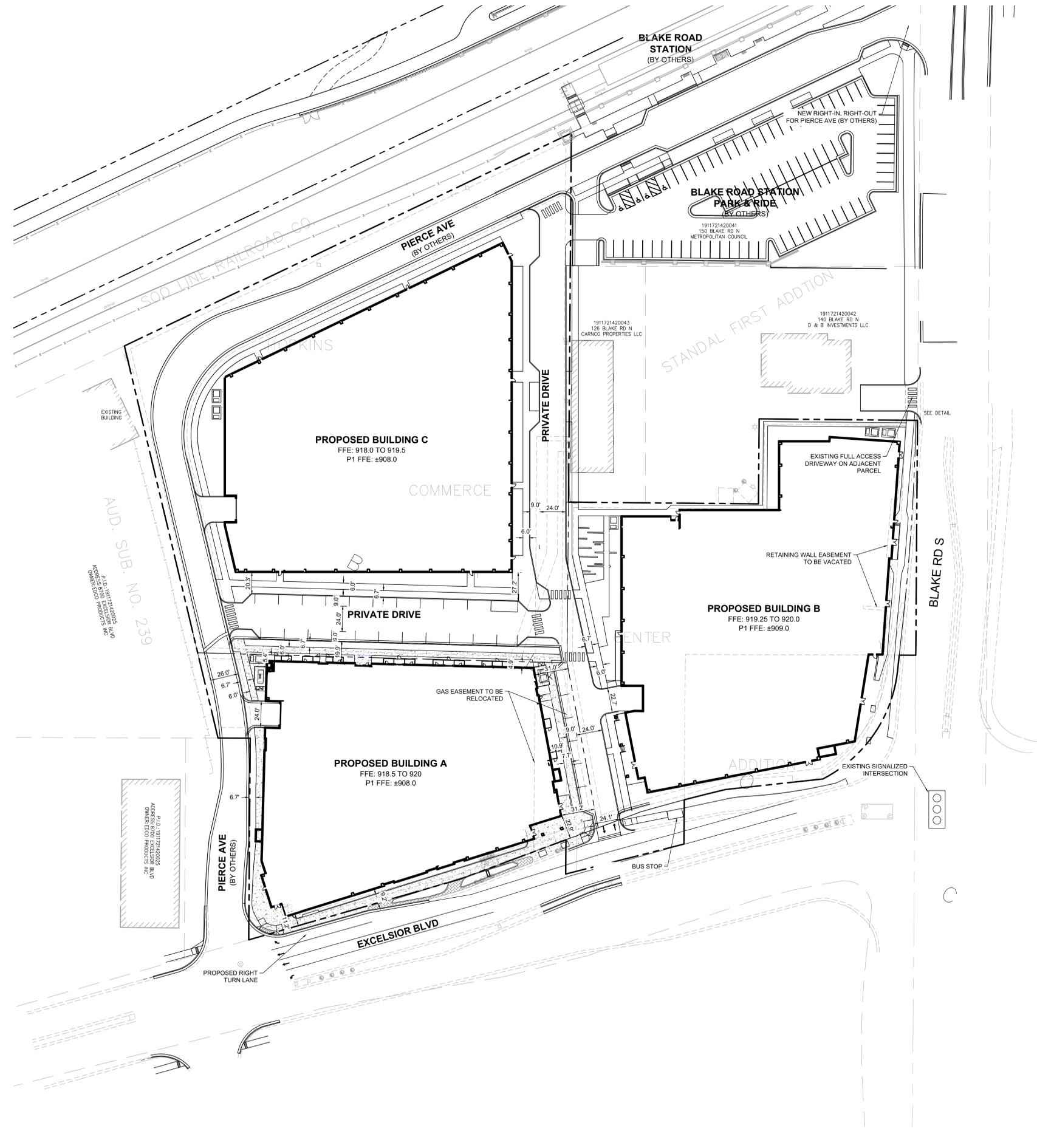
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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota

Signature
 TRISHA D. SEH
 Typed or Printed Name
 49848 04/23/2021
 License # Date

NOT FOR CONSTRUCTION



LEGEND

- PROPERTY LINE
- RETAINING WALL
- PROPOSED CURB AND GUTTER

PROPERTY SUMMARY

BLAKE & EXCELSIOR	
TOTAL PROPERTY AREA	7.39 AC
RIGHT OF WAY DEDICATION	0.00 AC
BUILDING A PARCEL	1.62 AC
BUILDING B PARCEL (FUTURE)	2.27 AC
BUILDING C PARCEL (FUTURE)	3.50 AC
PROPOSED IMPERVIOUS AREA (BUILDING A PARCEL)	66,023 SF (1.52 AC)
PROPOSED PERVIOUS AREA (BUILDING A PARCEL)	4,588 SF (0.10 AC)
TOTAL DISTURBED AREA (INCLUDES OFFSITE IMPROVEMENTS)	115,597 SF (2.65AC)

ZONING SUMMARY

EXISTING ZONING	I-1 INDUSTRIAL DISTRICT B-4 BUSINESS DISTRICT
PROPOSED ZONING	PUD

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY SAMBATEK, DATED 02/12/2020.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
 - REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.

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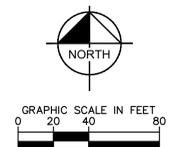
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KEY PLAN

Blake Road Station

OVERALL SITE PLAN
C400



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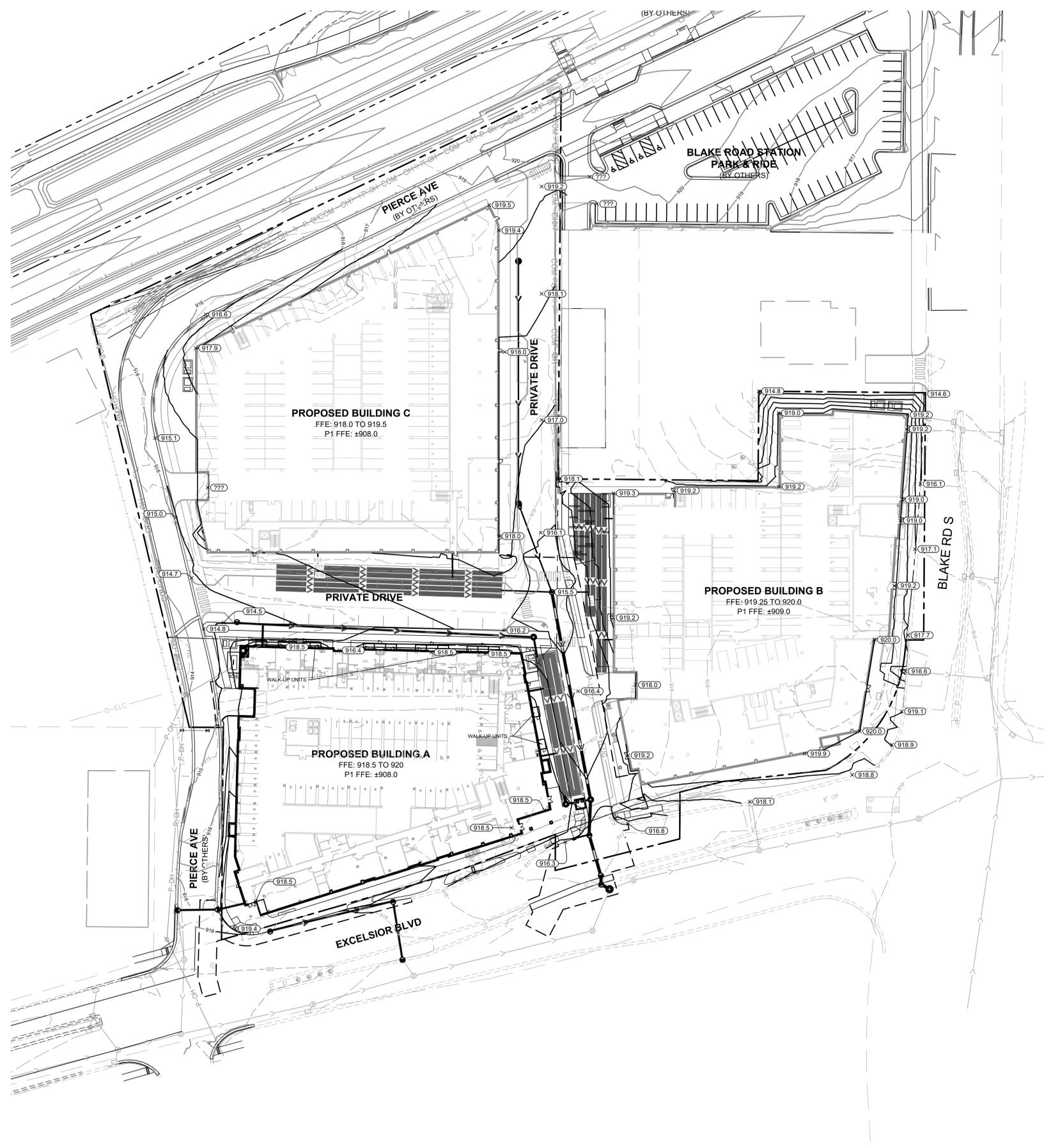
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 KEY PLAN

Blake Road Station

OVERALL GRADING PLAN
C500



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLENOT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW
	PROPOSED DRAINAGE DIRECTION
	PROPOSED ADA SLOPE

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF HOPKINS, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ +1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - STORM SEWER PIPE SHALL BE AS FOLLOWS:
 RCP PER ASTM C-76
 HDPE 6" - 10" PER AASHTO M-252
 HDPE 12" OR GREATER PER ASTM F-2366
 PVC SCH. 40 PER ASTM D-3034
 STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-900, AND C-443
 HDPE PER ASTM D-312
 PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF 4" CLASS 5+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1% VERTICAL TO 12% HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 3%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
 - ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

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Signature
TRISHA D. SEIH
Typed or Printed Name
49848 04/23/2021
License # Date

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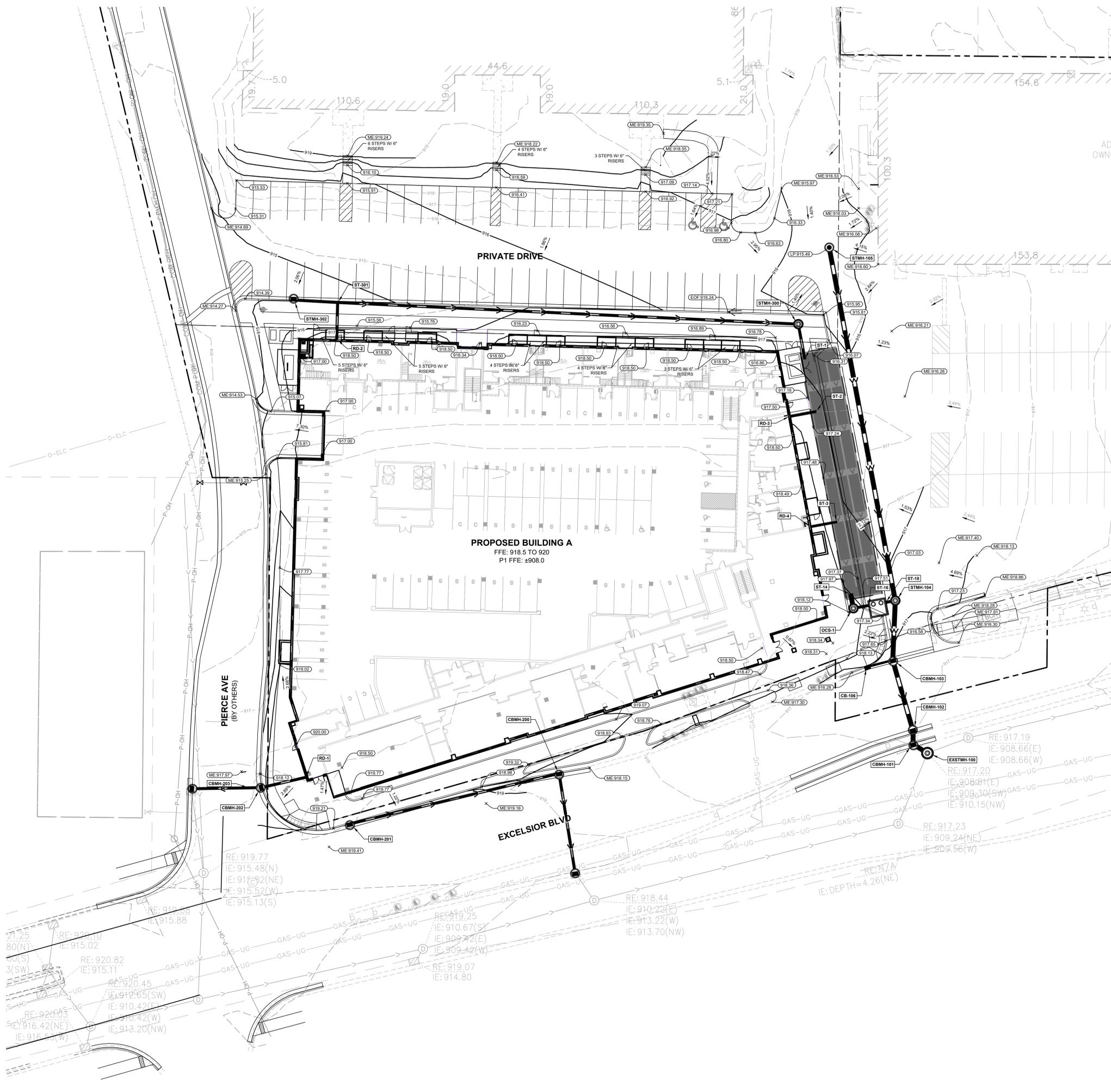
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KEY PLAN

Blake Road Station

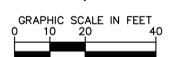
GRADING PLAN - SITE A

C501



LEGEND table with symbols for PROPERTY LINE, EXISTING CONTOUR, PROPOSED CONTOUR, PROPOSED LIMITS OF DISTURBANCE, PROPOSED STORM MANHOLE (SOLID CASTING), PROPOSED STORM MANHOLE (ROUND INLET CASTING), PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING), PROPOSED STORM SEWER CLEANOUT, PROPOSED FLARED END SECTION, PROPOSED RIPRAP, PROPOSED STORM SEWER, PROPOSED STORM SEWER, PROPOSED SPOT ELEVATION, PROPOSED HIGH POINT ELEVATION, PROPOSED LOW POINT ELEVATION, PROPOSED GUTTER ELEVATION, PROPOSED TOP OF CURB ELEVATION, PROPOSED FLUSH PAVEMENT ELEVATION, MATCH EXISTING ELEVATION, PROPOSED EMERGENCY OVERTFLOW, PROPOSED DRAINAGE DIRECTION, PROPOSED ADA SLOPE

- GRADING PLAN NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF HOPKINS, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTRACTOR TO CALL GOPHER STATE CALL ONE @ +1-800-252-1166- AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HOPE: 6" - 10" PER AASHTO M-252
HOPE: 12" OR GREATER PER ASTM F-2386
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-900, AND C-443
HOPE PER ASTM D-312
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
4. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
5. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
7. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
8. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
9. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
10. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING/ STRUCTURE NOTATION.
11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
12. INSTALL A MINIMUM OF 4" CLASS 5+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
13. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
14. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
15. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
16. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
17. CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
18. ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
19. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
20. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
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KEY PLAN

Blake Road Station

OVERALL STORM SEWER
 PLAN PLAN

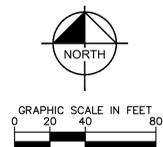
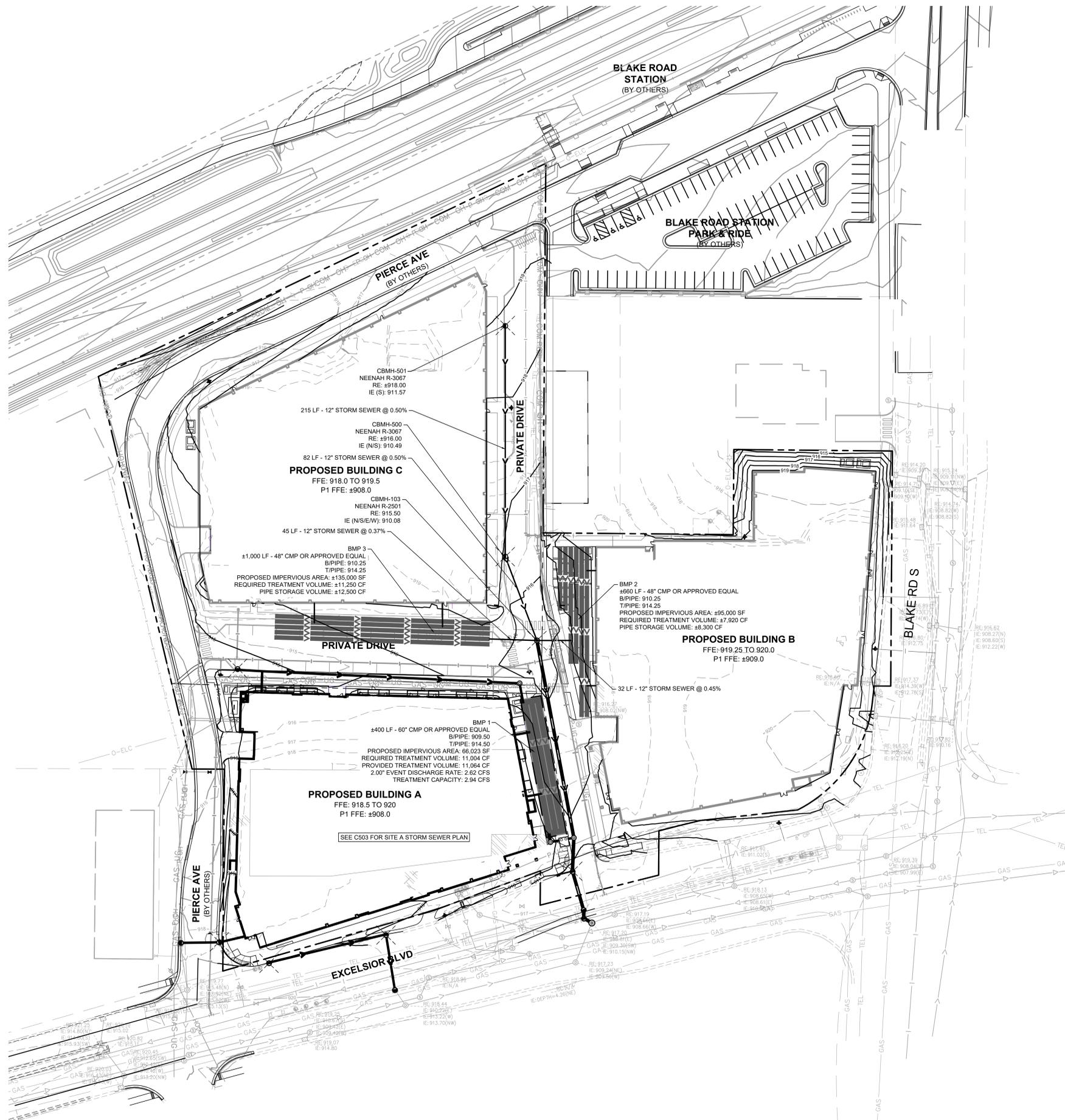
C502

LEGEND

- PROPERTY LINE
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED STORM SEWER
- PROPOSED RFRAP
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED FINGER DRAIN - INSTALL AROUND CATCH BASINS, 4 DRAINS, SPACED AT 90°, EXTENDING 10' FROM CATCH BASIN
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND STORMWATER PIPE DETENTION

GRADING PLAN NOTES

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 HDPE: 6" - 10" PER AASHTO M-252
 HDPE: 12" OR GREATER PER ASTM F-2366
 PVC SCH. 40 PER ASTM D-3034
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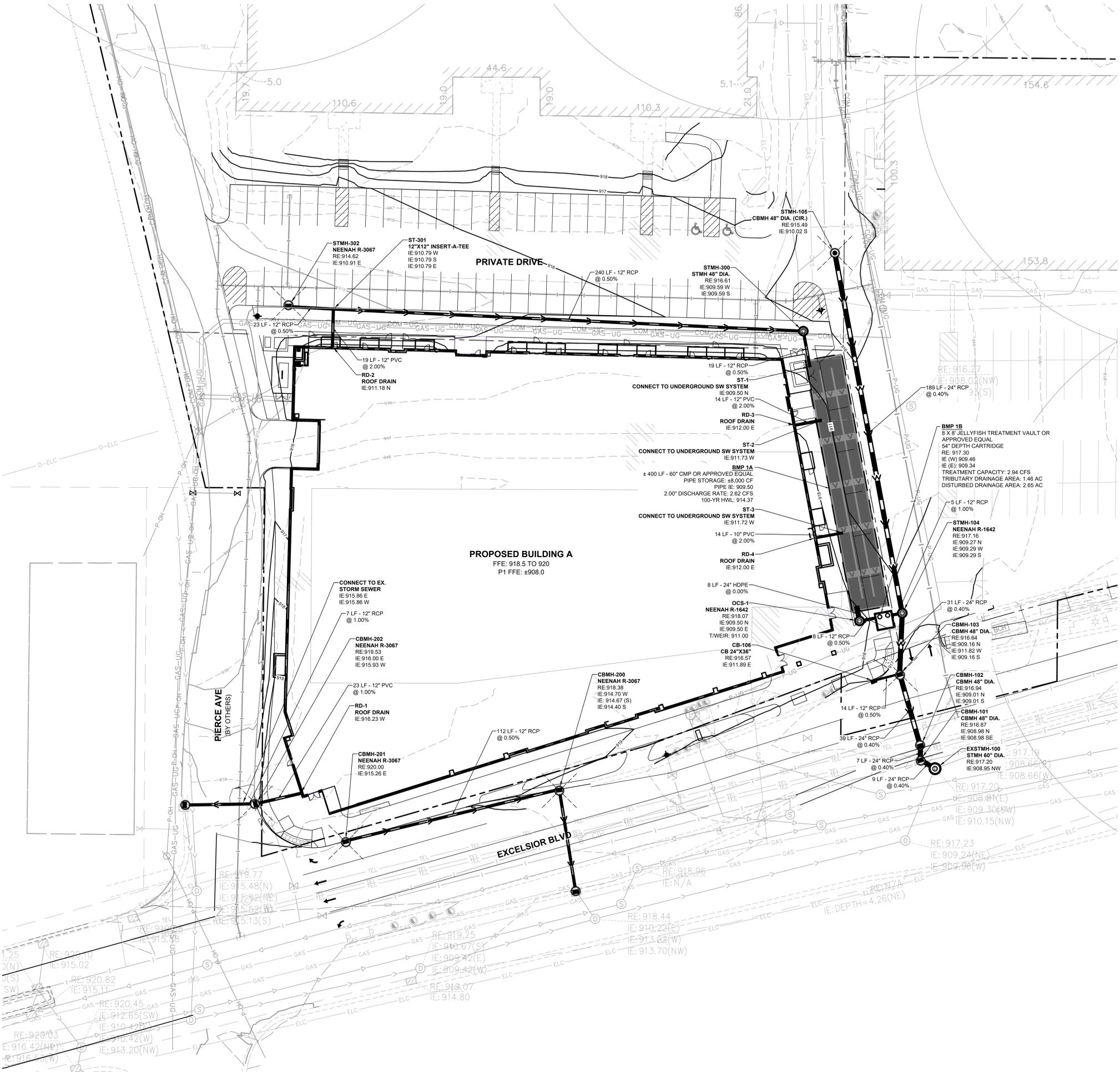
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STORMWATER SUMMARY - BUILDING A PARCEL

BLAKE & EXCELSIOR	
PROPERTY AREA	70,611 SF (1.62 AC)
PROPOSED IMPERVIOUS AREA	66,023 SF (1.52 AC)
TRIBUTARY AREA TO BMP 1	63,709 SF (1.26 AC)
DISTURBED AREA	115,597 SF (2.65 AC)

RATE ATTENUATION SUMMARY

	1-YEAR (CFS)	10-YEAR (CFS)	100-YEAR (CFS)	
PIERCE AVENUE	6.65	12.07	21.55	
	EXISTING	0.32	0.75	1.55
	PROPOSED	1.68	2.91	5.10
EXCELSIOR BOULEVARD	5.49	9.50	15.58	
	EXISTING	8.32	14.99	26.65
	PROPOSED	5.80	10.25	17.12

RUNOFF VOLUME SUMMARY

REQUIRED TREATMENT VOLUME: MOWD REQUIRES A VOLUME ABSTRACTION OF 1" OVER THE IMPERVIOUS AREA (5.502 CFS) OR TREATMENT OF THE FLOW RATE RESULTING FROM THE 2" EVENT OVER THE IMPERVIOUS AREA FOR FILTRATION PRACTICES.	11,004 CF
PROVIDED TREATMENT VOLUME: TO DEMONSTRATE THE UNDERGROUND DETENTION AND TREATMENT VAULT HAVE SUFFICIENT CAPACITY, THE 2" EVENT IS MODELED WITH A 2.59" RAINFALL DEPTH THAT RESULTS IN THE PROVIDED TREATMENT VOLUME.	11,064 CF

WATER QUALITY SUMMARY

REQUIRED TSS REMOVAL	70%
SITE CAPTURE	90.2%
BMP 1B TSS REMOVAL RATE	80%
BMP 1B TREATMENT CAPACITY	2.94 CFS
BMP 1A DISCHARGE RATE (2" EVENT)	2.62 CFS
PROVIDED TSS REMOVAL	72.16% (90.2% SITE CAPTURE * 80% REMOVAL)

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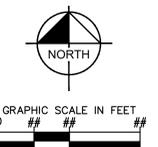
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KEY PLAN

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STORM SEWER PLAN -
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OVERALL UTILITY PLAN

C600



LEGEND

EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		ELC
		COM
		GAS
		PROPOSED UNDERGROUND STORMWATER PIPE DETENTION

- UTILITY PLAN NOTES**
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
 8" PVC SDR35 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
 8" PVC SCHEDULE 40 PER ASTM D-3034
 DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
 8" AND LARGER: PVC C-900 PER ASTM D 2241
 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
 4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 SMALLER THAN 4" PIPING SHALL BE COPPER TUBE TYPE "K" PER
 ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE 8" OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - LINE UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF HOPKINS AND/OR STATE OF MINNESOTA WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING, REF. ARCH / MEP PLANS.
 - ALL ONSITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota

Signature
 TRISHA D. SEH
 Typed or Printed Name
 49848 04/23/2021
 License # Date

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LUA SUBMITTAL

04/23/2021

ORIGINAL ISSUE:

REVISIONS:
 No. Description Date

160192000
 PROJECT NUMBER

BPG TDS
 DRAWN BY CHECKED BY
 KEY PLAN

Blake Road Station

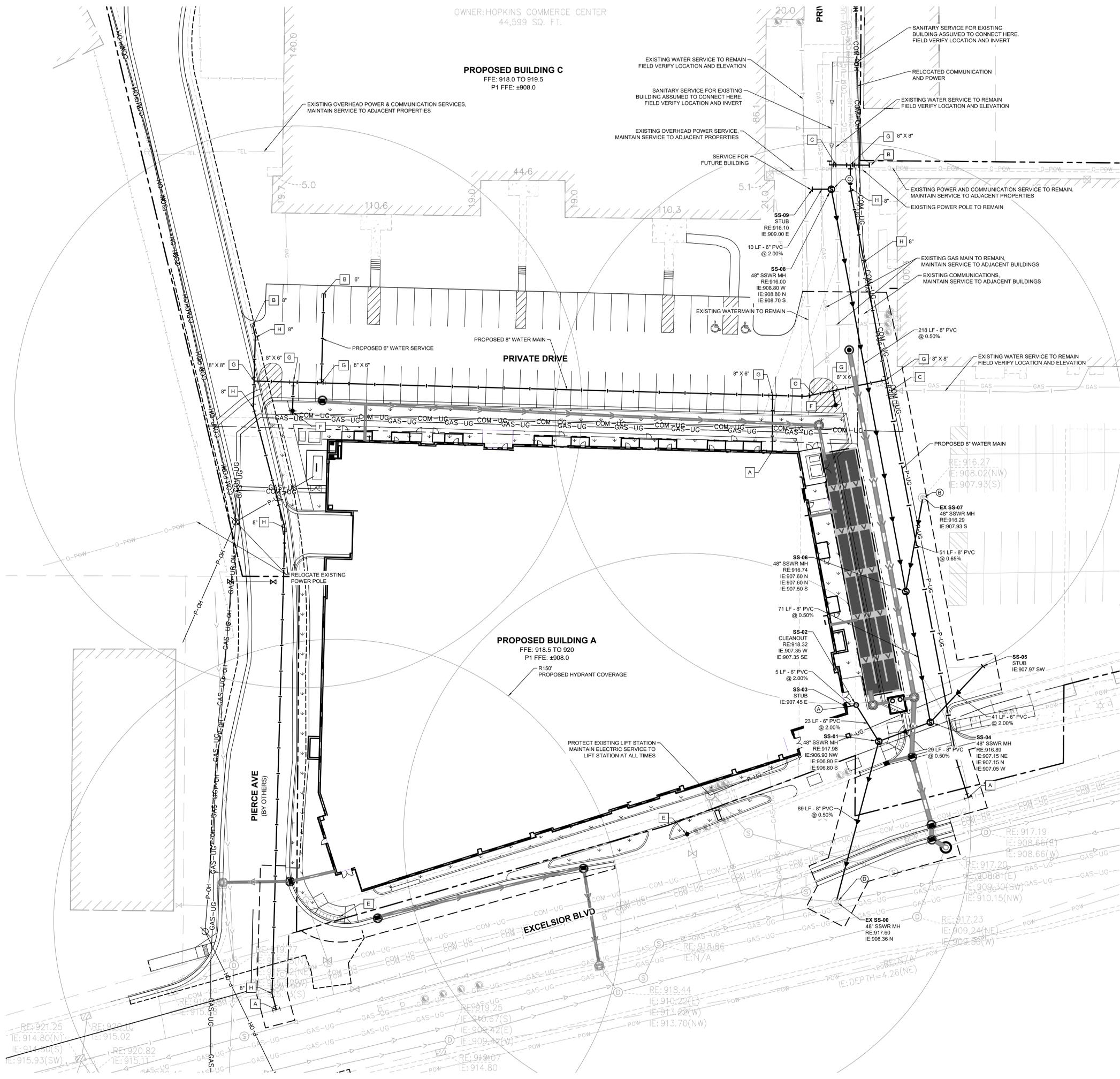
UTILITY PLAN - SITE A

C601

OWNER: HOPKINS COMMERCE CENTER
 44,599 SQ. FT.

PROPOSED BUILDING C
 FFE: 918.0 TO 919.5
 P1 FFE: ±908.0

PROPOSED BUILDING A
 FFE: 918.5 TO 920
 P1 FFE: ±908.0



LEGEND

EXISTING	PROPOSED	
(Symbol)	(Symbol)	GATE VALVE
(Symbol)	(Symbol)	HYDRANT
(Symbol)	(Symbol)	REDUCER
(Symbol)	(Symbol)	TEE
(Symbol)	(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	(Symbol)	SANITARY CLEANOUT
(Symbol)	(Symbol)	WATERMAIN
(Symbol)	(Symbol)	SANITARY SEWER
(Symbol)	(Symbol)	STORM SEWER
(Symbol)	(Symbol)	STORM SEWER
(Symbol)	(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	(Symbol)	TELEPHONE
(Symbol)	(Symbol)	GAS MAIN
(Symbol)	(Symbol)	PROPOSED UNDERGROUND STORMWATER PIPE DETENTION

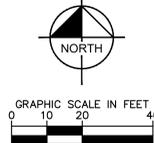
- UTILITY PLAN NOTES**
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
 10" PVC SDR35 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
 12" PVC SCHEDULE 40 PER ASTM D-3034
 DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
 8" AND LARGER: PVC C-900 PER ASTM D 2241
 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
 4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 SMALLER THAN 4" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE 8" OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
 - ALL CONCRETE FOR ENCASMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF HOPKINS AND/OR STATE OF MINNESOTA WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
 - ALL ON-SITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

SANITARY SEWER KEYNOTE LEGEND

(A)	SANITARY SEWER SERVICE. CONNECT TO BUILDING PLUMBING COORDINATE W/ MEP PLANS
(B)	ADJUST EXISTING CASTING TO NEW RIM ELEVATION
(C)	CONSTRUCT MANHOLE OVER EXISTING SANITARY SEWER. CONNECT TO EXISTING SERVICE PIPE. FIELD VERIFY LOCATION AND ELEVATION.
(D)	CORE DRILL AND CONNECT TO EXISTING STRUCTURE. FIELD VERIFY LOCATION AND ELEVATION
(E)	
(F)	
(G)	
(H)	
(I)	

WATERMAIN KEYNOTE LEGEND

(A)	PROPOSED 6" COMBINED WATER SERVICE. PROVIDE SPLIT AND BACKFLOW PREVENTER INSIDE BUILDING
(B)	WATER STUB AND PLUG
(C)	CONNECT TO EXISTING WATERMAIN WITH WET TAP SADDLE. PROVIDE GATE VALVE
(D)	CORE DRILL AND CONNECT TO EXISTING STRUCTURE. FIELD VERIFY LOCATION AND ELEVATION
(E)	RELOCATED FIRE HYDRANT AND GATE VALVE ASSEMBLY. PROVIDE NEW 6" LEAD
(F)	PROPOSED FIRE HYDRANT AND GATE VALVE ASSEMBLY. PROVIDE 6" LEAD
(G)	TEE
(H)	BEND
(I)	GATE VALVE



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed landscape architect under the laws of the State of Minnesota

Signature _____

Typed or Printed Name _____

License # Date _____

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SITE AND LANDSCAPE NOTES

SITE PREPARATION NOTES

- CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
- CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS (MINIMUM 10' CLEARANCE).
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- HORIZONTAL AND VERTICAL ALIGNMENT OF PROPOSED WALKS, TRAILS OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF SUBSTANTIAL COMPLETION. REPAIR OF ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO SUBSTANTIAL COMPLETION SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- EXISTING TREES OR SIGNIFICANT SHRUB MASSINGS FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- EXISTING TREES TO REMAIN, UPON DIRECTION OF LANDSCAPE ARCHITECT, SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED AND RUBBING BRANCHES.
- CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE SUBSTANTIAL COMPLETION INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.
- CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO SUBSTANTIAL COMPLETION.
- SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.

GRADING

- ROUGH GRADING AND FINISHED GRADING TO BE DONE BY OTHERS EXCEPT WHERE NOTED.
- GRADING LIMITS ARE DEFINED AS THE JUNCTURE OF PROPOSED GRADE WITH EXISTING GRADE UNLESS NOTED OTHERWISE.
- GRADING LIMITS AND LIMITS OF WORK SHOWN ON PLAN ARE ONLY APPROXIMATE AND MAY BE ADJUSTED IN FIELD BY LANDSCAPE ARCHITECT. WORK OUTSIDE OF THESE LIMITS WILL BE DONE AT LANDSCAPE CONTRACTORS EXPENSE UNLESS DIRECTED BY LANDSCAPE ARCHITECT OR OWNER IN WRITING.
- FILL/CUT AS NECESSARY TO PROVIDE A 1% MINIMUM GRADE AWAY FROM BUILDINGS WITHIN LIMITS OF CONSTRUCTION.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE OR AS INDICATED ON PLANS AND STOCKPILE FOR REUSE.
- OBTAIN SOIL SAMPLE FROM SALVAGED TOPSOIL STOCKPILE AND SUBMIT TO INDEPENDENT TESTING AGENCY FOR ANALYSIS.
- MAINTAIN A UNIFORM GRADE BETWEEN CONTOURS IN AREAS TO BE GRADED UNLESS NOTED OTHERWISE.
- ELEVATIONS, IF SHOWN ARE FINISHED ELEVATIONS. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
- ADD EROSION CONTROL MEASURES IF GRADES GREATER THAN 3:1 OR IF CONDITIONS WARRANT. REFER TO MNDOT SPECIFICATIONS FOR EROSION CONTROL.

- CONTRACTOR SHALL CONTACT PUBLIC UTILITIES FOR LOCATION OF UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS REQUIRED TO ENSURE THAT EROSION IS KEPT TO AN ABSOLUTE MINIMUM.
- PROVIDE TEMPORARY COVERING FOR CATCH BASINS AND MAN HOLES UNTIL FINISHED GRADING IS COMPLETE.
- CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS AS NEEDED.
- PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. REFER TO STATE SPECIFICATIONS FOR AGGREGATE BASE AND SILT FENCE.
- CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES PER LOCAL POLLUTION CONTROL AGENCY AND SPECIFICATIONS.
- WITHIN TWO WEEKS OF FINISHED SITE GRADING, DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, MULCH OR ROCK BASE.
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES AND EXCESS SEDIMENT IN PROPOSED CATCH BASINS, FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED AND DISPOSE OF OFF SITE.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN PLANTING AREAS.

PLANTING

- SPRING PLANT MATERIAL INSTALLATION IS FROM APRIL 15 TO JUNE 15.
- FALL CONIFEROUS PLANTING IS ACCEPTABLE FROM AUGUST 21 TO SEPTEMBER 30.
- FALL DECIDUOUS PLANTING IS ACCEPTABLE FROM AUGUST 15 UNTIL NOVEMBER 15.
- ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- STAKE PROPOSED PLANTING LOCATIONS PER PLAN FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
- PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO "V" CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACE.
- INSTALL PLANT MATERIAL AFTER FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- INSTALL PLANT MATERIALS PER PLANTING DETAILS.
- SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- FERTILIZE PLANT MATERIAL UPON INSTALLATION WITH DRIED BONE MEAL AND OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL (PER THE MANUFACTURER'S INSTRUCTIONS) OR TREAT FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 12 OZ. PER 2.5" CALIPER TREE AND 6 OZ. PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-0-10 THE FOLLOWING SPRING IN THE TREE SAUCER.
- INSTALL 18" DEPTH OF PLANTING SOIL IN AREAS RECEIVING GROUND COVER, PERENNIALS, AND ANNUALS. PLANTING SOIL SHALL CONSIST OF MNDOT 3877-B MODIFIED TO CONTAIN A MAXIMUM OF 30% SAND, A PH OF 7.1 MAX, OR AS OTHERWISE SPECIFIED IN THE PROJECT SPECIFICATIONS MANUAL.
- TREE WRAPPING MATERIAL SHALL BE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO FIRST BRANCH. WRAP SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1.
- APPLY PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) IN ANNUAL, PERENNIAL, AND SHRUB BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING USE OF HERBICIDES.

MULCHING

- INSTALL 4" DEEP SHREDDED HARDWOOD MULCH RINGS AT CONIFEROUS & DECIDUOUS TREES WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

- INSTALL 3" DEEP SHREDDED HARDWOOD MULCH RINGS AT SHRUB PLANTING AREAS WITH NO MULCH IN DIRECT CONTACT WITH SHRUB STEMS.
- INSTALL 3" DEEP FINELY SHREDDED MULCH IN PERENNIAL PLANTING BEDS. REMOVE ALL MULCH FROM STEMS OF PERENNIALS - PLANT STEMS SHOULD NOT BE IN DIRECT CONTACT WITH MULCH.

WATERING

- PLANTED MATERIALS SHALL BE WATERED BY TEMPORARY MEANS UNTIL PLANTS ARE ESTABLISHED.
- TEMPORARY WATERING MEANS, METHODS, AND SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REMOVE TEMPORARY WATERING EQUIPMENT UPON PLANT ESTABLISHMENT.

WARRANTY

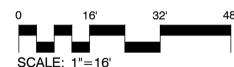
- WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TURF NOTES

- SOD AREAS DISTURBED DUE TO GRADING UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING SEED & SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- FALL SODDING IS ACCEPTABLE FROM AUGUST 15 TO NOVEMBER 1. FALL SEEDING IS ACCEPTABLE FROM AUGUST 15 TO SEPTEMBER 15. ADJUSTMENTS TO SOD/SEED PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

IRRIGATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION THAT MEETS THE REQUIREMENTS OF THE PROVIDED PERFORMANCE SPECIFICATION AS PART OF THE SCOPE OF WORK. SUBMIT LAYOUT PLAN AND SPECIFICATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
- CONTRACTOR SHALL FIELD VERIFY WATER SUPPLY, VOLUME, PRESSURE AND LOCATION FOR SYSTEM TAP PRIOR TO SYSTEM DESIGN.
- CONTRACTOR SHALL CONFIRM COMPLETE LIMITS OF IRRIGATION WITH LANDSCAPE ARCHITECT PRIOR TO SUPPLYING SHOP DRAWINGS.
- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF AREAS RECEIVING DRIP IRRIGATION PRIOR TO INSTALLATION OF MULCH.
- CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH AS-BUILT DRAWINGS, DETAILED SYSTEM OPERATION INSTRUCTIONS AND AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND PLANTED MATERIAL GROWTH REQUIREMENTS.



LUA SUBMITTAL
04/23/2021

ORIGINAL ISSUE:

REVISIONS:
No. Description Date

20-172
PROJECT NUMBER

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KEY PLAN

BLAKE ROAD STATION

GENERAL NOTES

L010

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed landscape architect under the laws of the State of Minnesota

Signature _____

Typed or Printed Name _____

License # _____ Date _____

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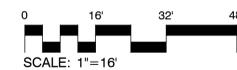
BLAKE ROAD STATION

REFERENCE NOTES & PLANTING SCHEDULES

L011

OVERALL REFERENCE NOTES SCHEDULE							
CURB							
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS
CB-01	CONCRETE PLANTER CURB	468 LF	7/L500	CUSTOM	CONCRETE CURBING	STANDARD CONCRETE	8" HEIGHT FROM FINISHED GRADE. REFER TO CIVIL FOR ELEVATIONS
EDGING							
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS
ED-01	STEEL EDGING	70 LF	5/L500	RYERSON	3/16" GALV. STEEL	BLACK	4" X 3/16" WITH 12" STAKES - RYERSON OR APPROVED EQUAL
LIGHTING							
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS
LT-01	STREET LIGHT	5	N/A	TBD	MATCH TO CITY STANDARD	MATCH TO CITY STANDARD	OWNER PURCHASED, CITY INSTALLED
LT-02	PEDESTIAN LIGHT	10	N/A	FORMS AND SURFACES	LIGHT COLUMN PEDESTRIAN LIGHT	ARGENTO TEXTURE	12' HEIGHT
MINERAL MULCH							
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS
MM-02	CRUSHED STONE	100 SF	2/L501	HEDBERG AGGREGATES	DRESSER GRAY TRAP ROCK	GREY	3" DEPTH - 3/16" MINUS OVER 6" CLASS V BASE
PAVING							
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS
P-01	CONCRETE PAVING	9,732 SF	SEE CIVIL	N/A	STANDARD CONCRETE	STANDARD / BROOM FINISH	SEE CIVIL FOR PAVING PROFILE
P-02	CONCRETE UNIT PAVER	579 SF	1/L501	BORGERT	BULOVAR PAVER	GRAPHITE	RUNNING BOND PATTERN
P-03	SPECIALTY / PEDESTRIAN PAVING	715 SF	SEE CIVIL	N/A	INTEGRAL COLOR CONCRETE WITH JOINTING PATTERN	CHARCOAL / TOPCAST 100	SEE CIVIL FOR PAVING PROFILE
SITE FURNITURE							
SYMBOL	DESCRIPTION	QTY	DETAIL	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH	COMMENTS
SF-01	BIKE RACK	4	3/L501	FORMS+SURFACES	TRIO BIKE RACK	SLATE	SURFACE MOUNT PER MANUFACTURER'S DIRECTION
SF-02	TREE GRATE	2	4/L501	URBAN ACCESSORIES	JAMISON TREE GRATE	GREY IRON / NATURAL FINISH	5'-0" X 7'-0" RECTANGLE
SF-03	SITE BENCH	2	6/L501	LANDSCAPE FORMS	BANCAL BENCH	STORMCLOUD / IPE	168" LENGTH WITH 88" OFFSET BACKREST, SURFACE MOUNT PER MANUFACTURER'S DIRECTION

OVERALL PLANT SCHEDULE						
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
	AC-M	5	ACER MIYABEI 'MORTON' TM / STATE STREET MIYABEI MAPLE	2.5" CAL.	B&B	TRUNK FREE OF BRANCHES 6'-7' FROM BASE
	AC-P	4	ACER PLATANOIDES 'POND' TM / EMERALD LUSTRE MAPLE	3" CAL.	B&B	NATURAL FORM, SINGLE LEADER
	AC-R	1	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	2.5" CAL.	B&B	TRUNK FREE OF BRANCHES 6'-7' FROM BASE
	AM-G	6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY	10' HT. CLUMP	B&B	CLUMP FORM
	GL-I	6	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM / SKYLINE THORNLESS HONEY LOCUST	2.5" CAL.	B&B	TRUNK FREE OF BRANCHES 6'-7' FROM BASE
	QU-L	5	QUERCUS X WAREI 'LONG' TM / REGAL PRINCE OAK	3" CAL.	B&B	TRUNK FREE OF BRANCHES 6'-7' FROM BASE
	TI-A	2	TILIA AMERICANA 'MCKSENTRY' / AMERICAN SENTRY LINDEN	2.5" CAL.	B&B	TRUNK FREE OF BRANCHES 6'-7' FROM BASE
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
	AR-M	55	ARONIA MELANOCARPA 'UCONNAM165' / LOW SCAPE MOUND CHOKEBERRY	#2	CONT.	SPACE 2'-0" O.C.
	DI-L	80	DIERVILLA LONICERA / DWARF BUSH HONEYSUCKLE	#5	CONT.	SPACE 3'-0" O.C.
	HY-J	19	HYDRANGEA PANICULATA 'JANE' / LITTLE LIME HYDRANGEA	#3	CONT.	SPACE 4'-0" O.C.
	PH-O	16	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' / DONNA MAY NINEBARK	#5	CONT.	SPACE 3'-6" O.C.
	SO-S	82	SORBARIA SORBIFOLIA 'SEM' / SEM ASH LEAF SPIREA	#2	CONT.	SPACE 3'-0" O.C.
	SP-E	46	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA	#5	CONT.	SPACE 3'-0" O.C.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
	TA-M	21	TAXUS X MEDIA 'TAUNTONII' / TAUTON YEW	#3	CONT.	SPACE 3'-0" O.C.
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
	CA-A	192	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#3	CONT.	SPACE 2'-6" O.C.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	NOTES
	SOD	2,120 SF	SOD	SOD	ROLL	SEE SPECIFICATION SECTION 329200



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04/23/2020

ORIGINAL ISSUE:
07/20/20

REVISIONS:
No. Description Date

20-172
PROJECT NUMBER

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KEY PLAN

BLAKE ROAD STATION

MASTER PLAN OVERALL SITE PLAN

L100



MASTER PLAN LEGEND



MASTER PLAN SITE INFORMATION

BUILDING A:	
LOT AREA:	69,515 sf
BUILDING FOOTPRINT:	52,490 sf
HARDSCAPE / IMPERVIOUS AREA:	12,689 sf
LANDSCAPE / PERVIOUS AREA:	4,336 sf
TREES:	25 TREES
SHRUBS:	301 SHRUBS
TURF:	1,234 SF
BUILDING B:	
LOT AREA:	92,864 sf
BUILDING FOOTPRINT:	64,470 sf
HARDSCAPE / IMPERVIOUS AREA:	19,209 sf
LANDSCAPE / PERVIOUS AREA:	9,185 sf
TREES:	36 TREES
SHRUBS:	600 SHRUBS
TURF:	1,199 SF
BUILDING C:	
LOT AREA:	152,769 sf
BUILDING FOOTPRINT:	66,456 sf
HARDSCAPE / IMPERVIOUS AREA:	61,482 sf
LANDSCAPE / PERVIOUS AREA:	24,831 sf
TREES:	98 TREES
SHRUBS:	730 SHRUBS
TURF:	3,260 SF

- NOTES:**
- REFER TO SHEET "L140: LANDSCAPE PLAN - BUILDING A" FOR A DETAILED INFORMATION ON PLANT QUANTITIES, SPECIES, AND SIZES.
 - LANDSCAPE COUNTS FOR BUILDING B AND BUILDING C ARE APPROXIMATIONS ONLY AND BASED ON OPEN SPACE AREA SQUARE FOOTAGES.

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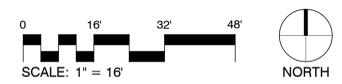
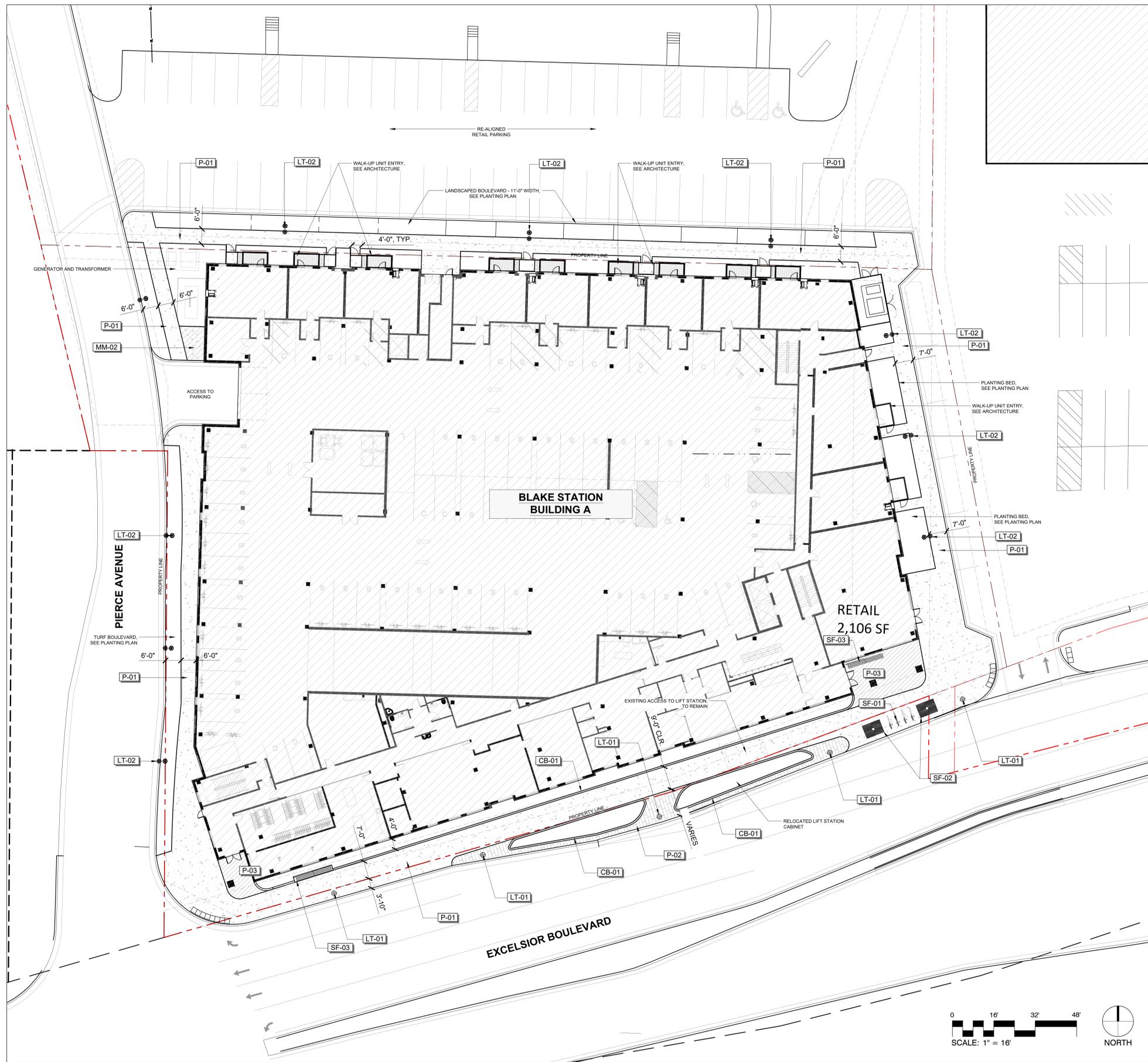
BLAKE ROAD STATION

SITE PLAN - BUILDING A

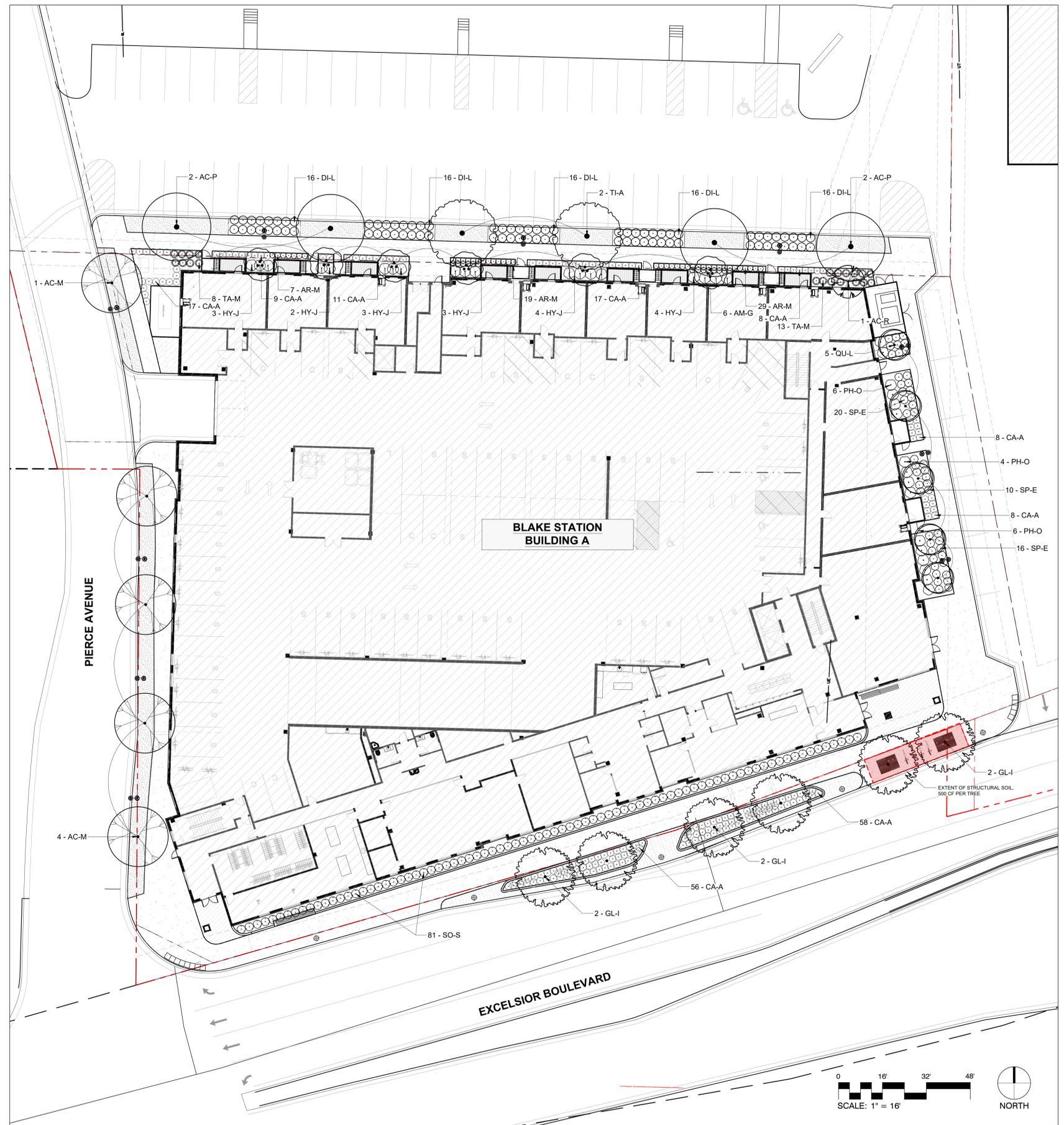
L111

REFERENCE NOTES SCHEDULE			
CURB			
SYMBOL	DESCRIPTION	QTY	DETAIL
CB-01	CONCRETE PLANTER CURB	468 LF	7/L500
EDGING			
SYMBOL	DESCRIPTION	QTY	DETAIL
ED-01	STEEL EDGING	70 LF	5/L500
LIGHTING			
SYMBOL	DESCRIPTION	QTY	DETAIL
LT-01	STREET LIGHT	5	N/A
LT-02	PEDESTIAN LIGHT	10	N/A
MINERAL MULCH			
SYMBOL	DESCRIPTION	QTY	DETAIL
MM-02	CRUSHED STONE	100 SF	2/L501
PAVING			
SYMBOL	DESCRIPTION	QTY	DETAIL
P-01	CONCRETE PAVING	9,732 SF	SEE CIVIL
P-02	CONCRETE UNIT PAVER	579 SF	1/L501
P-03	SPECIALTY / PEDESTRIAN PAVING	715 SF	SEE CIVIL
SITE FURNITURE			
SYMBOL	DESCRIPTION	QTY	DETAIL
SF-01	BIKE RACK	4	3/L501
SF-02	TREE GRATE	2	4/L501
SF-03	SITE BENCH	2	6/L501

SITE INFORMATION	
SITE AREA:	69,515 SF
BUILDING FOOTPRINT:	52,490 SF (76%)
LANDSCAPE / PERVIOUS AREA:	4,770 SF (7%)
HARDSCAPE / IMPERVIOUS AREA:	12,255 SF (17%)



PLANT SCHEDULE			
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AC-M	5	ACER MIYABEI 'MORTON' TM / STATE STREET MIYABEI MAPLE
	AC-P	4	ACER PLATANOIDES 'POND' TM / EMERALD LUSTRE MAPLE
	AC-R	1	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE
	AM-G	6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY
	GL-I	6	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM / SKYLINE THORNLESS HONEY LOCUST
	QU-L	5	QUERCUS X WAREI 'LONG' TM / REGAL PRINCE OAK
	TI-A	2	TILIA AMERICANA 'MCKSENTRY' / AMERICAN SENTRY LINDEN
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	AR-M	55	ARONIA MELANOCARPA 'UCONNAM165' / LOW SCAPE MOUND CHOKEBERRY
	DI-L	80	DIERVILLA LONICERA / DWARF BUSH HONEYSUCKLE
	HY-J	19	HYDRANGEA PANICULATA 'JANE' / LITTLE LIME HYDRANGEA
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	SO-S	82	SORBARIA SORBIFOLIA 'SEM' / SEM ASH LEAF SPIREA
	SP-E	46	SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	TA-M	21	TAXUS X MEDIA 'TAUNTONII' / TAUNTON YEW
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	CA-A	192	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	SOD	2,120 SF	SOD



BLAKE ROAD STATION
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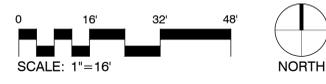
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KEY PLAN

BLAKE ROAD STATION

LANDSCAPE PLAN - BUILDING A

L140



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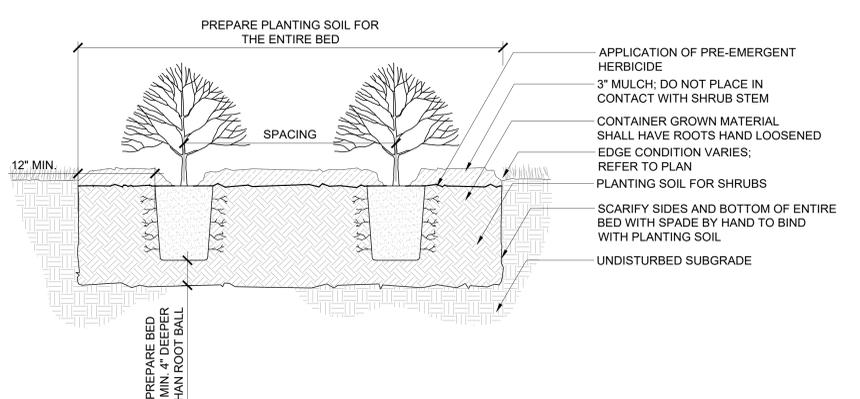
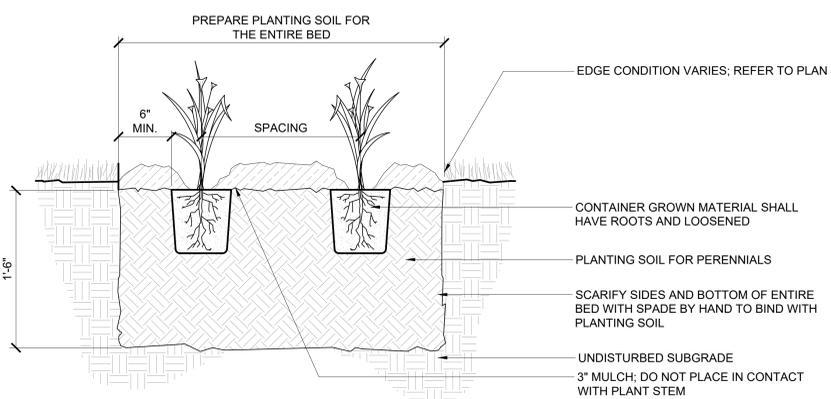
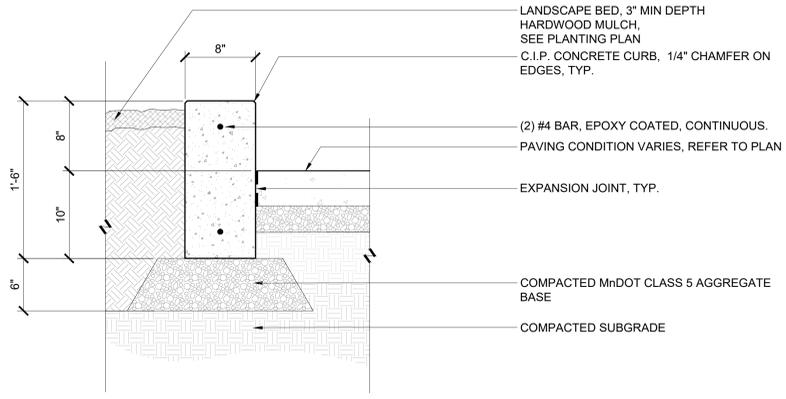
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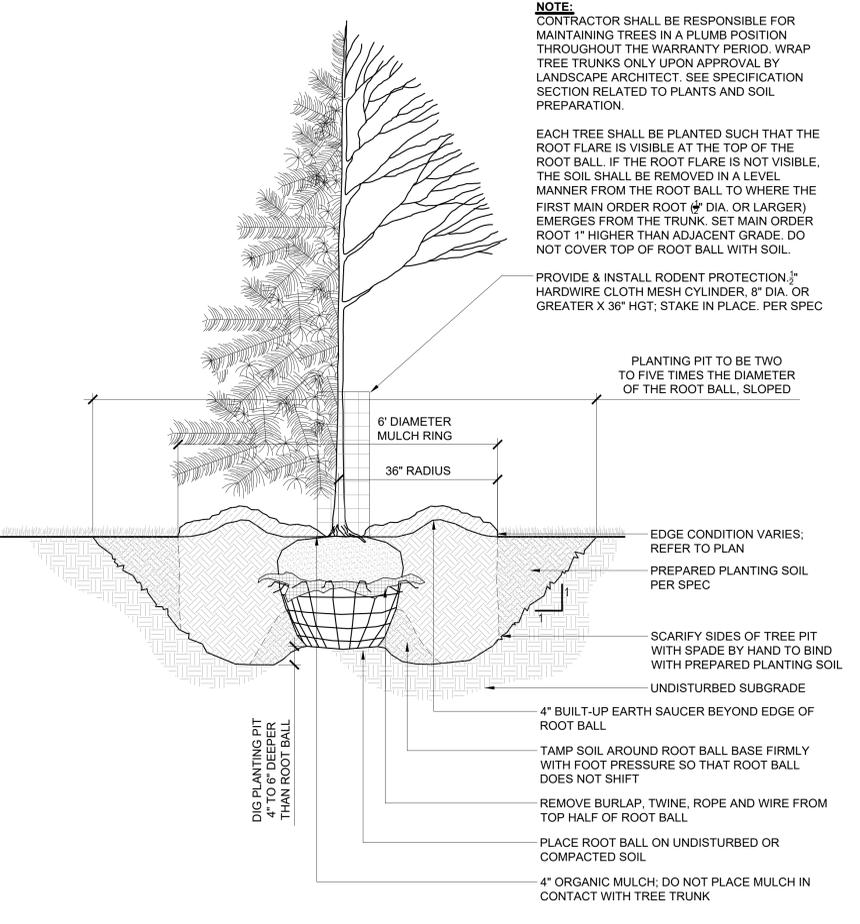
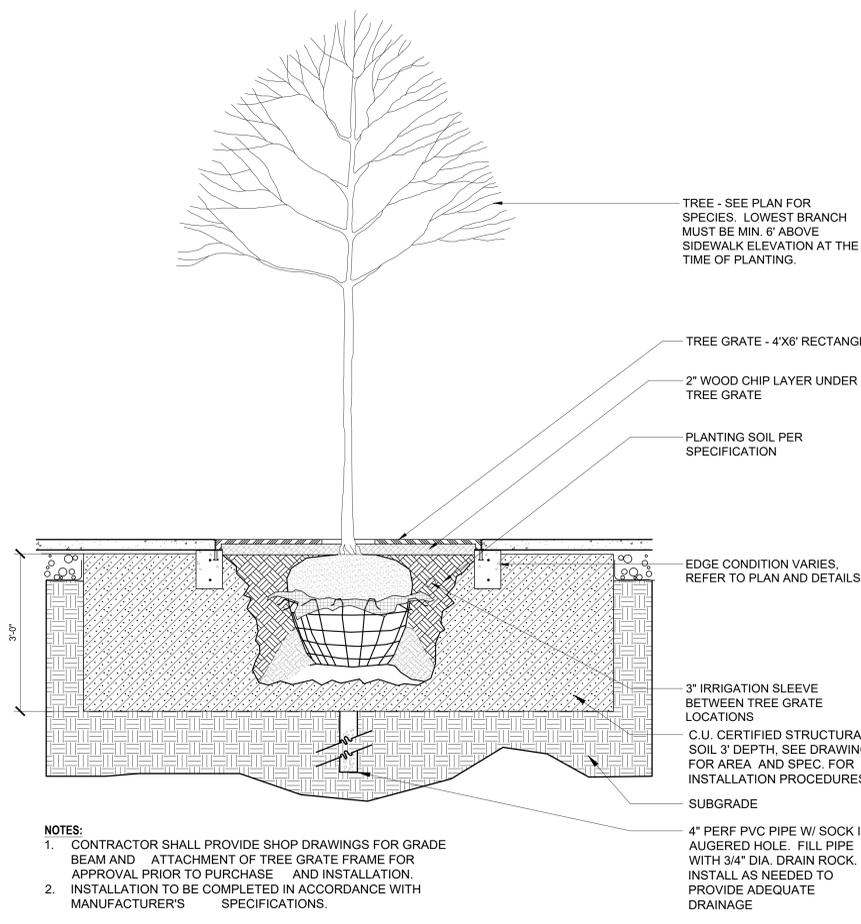
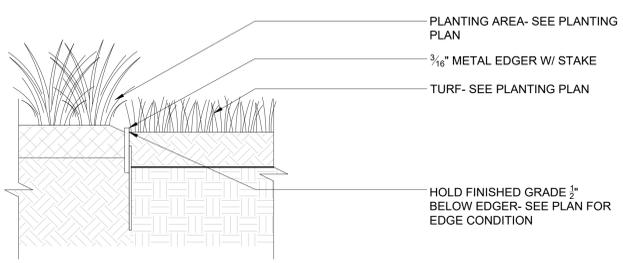
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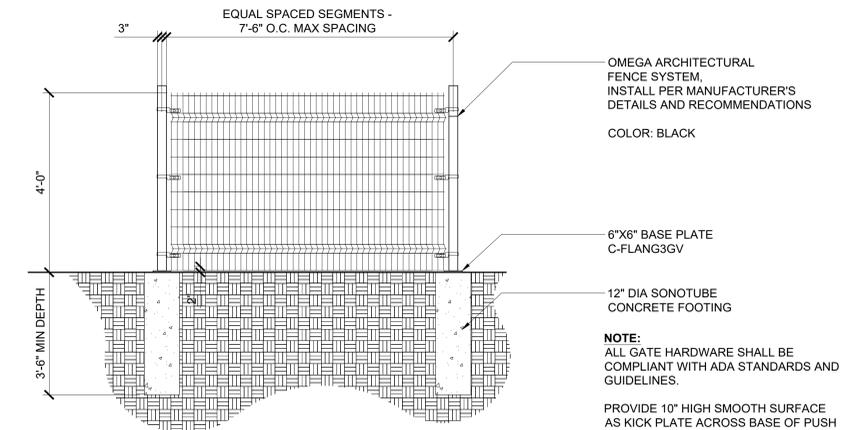
7 CONCRETE PLANTER CURB
1 1/2" = 1'-0"
P-20 172-10

4 DETAIL - PERENNIAL PLANTING
1 1/2" = 1'-0"
P-20 172-04

2 DETAIL - SHRUB PLANTING
1" = 1'-0"
P-20 172-02



6 STEEL EDGING
1 1/2" = 1'-0"
P-20 172-65



3 TREE GRATE OVER STRUCTURAL SOIL
3/4" = 1'-0"
P-20 172-64

1 DETAIL - TREE PLANTING
3/4" = 1'-0"
P-20 172-01

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KEY PLAN

BLAKE ROAD STATION

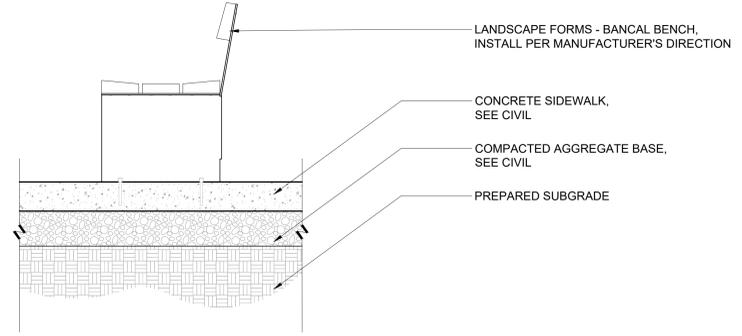
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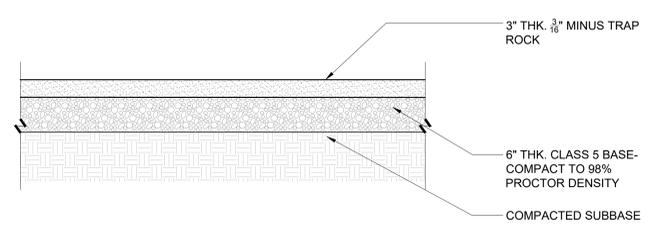
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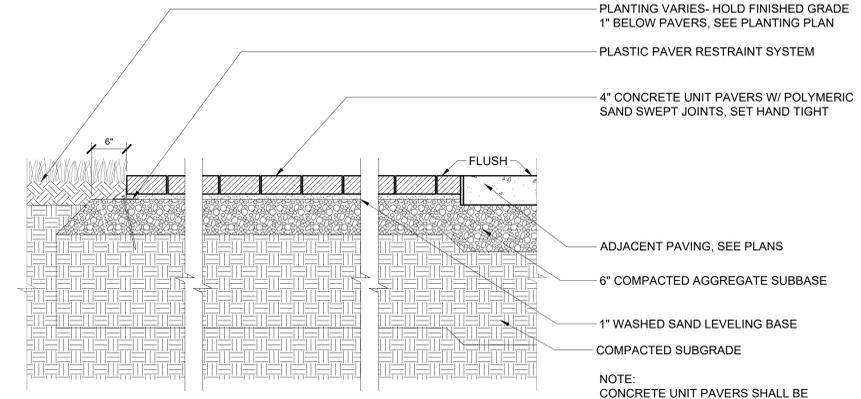
6 SITE BENCH - INGROUND MOUNT
1" = 1'-0"

P-20 172-75



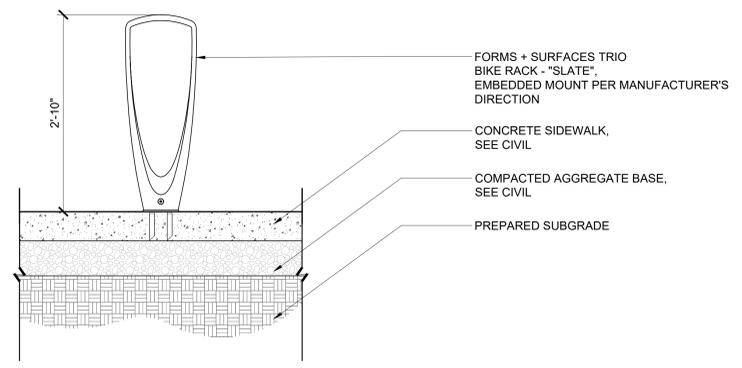
3 CRUSHED STONE PAVING
1" = 1'-0"

P-20 172-67



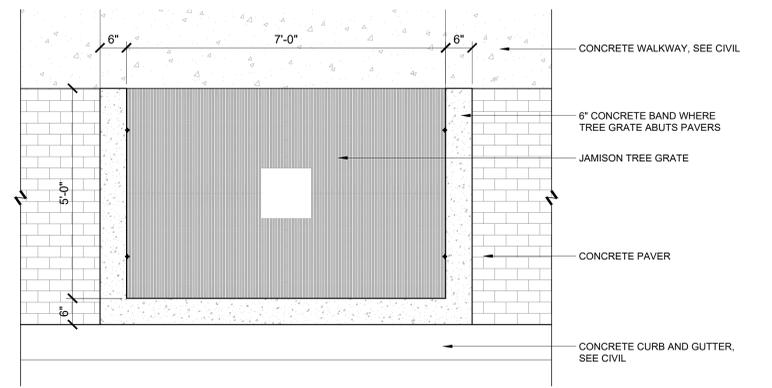
2 CONCRETE UNIT PAVER
1" = 1'-0"

P-20 172-66



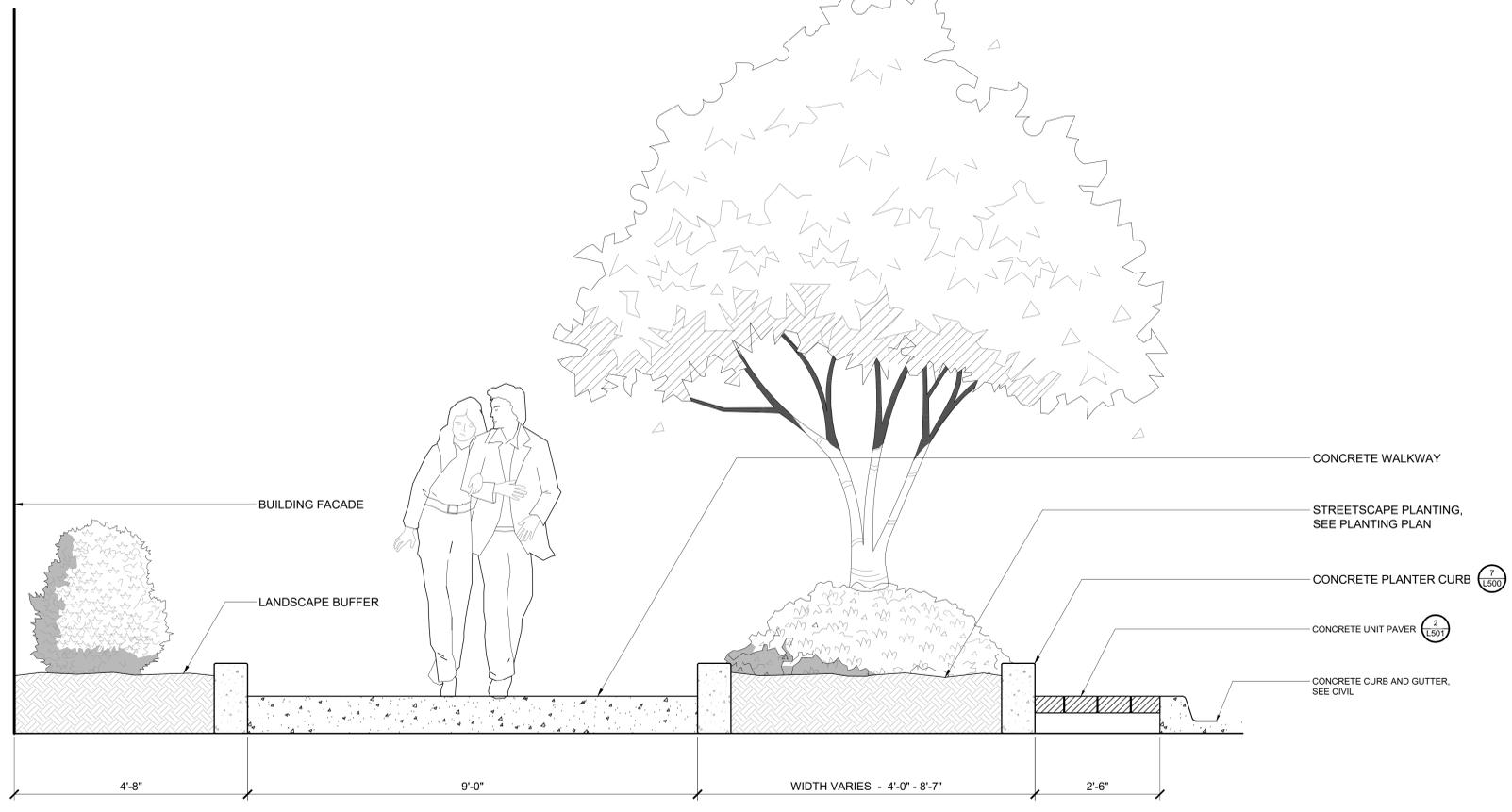
5 BIKE RACK, SURFACE MOUNT
1" = 1'-0"

P-20 172-68



4 TREE GRATE ENLARGE PLAN
3/4" = 1'-0"

P-20 172-69



1 STREET SECTION
3/4" = 1'-0"

P-20 172-78

P-20 172-78

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BLAKE ROAD STATION

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L501