

**HOPKINS PLANNING & ZONING COMMISSION**

**AGENDA**

**Tuesday, October 25, 2022**

**6:30 pm**

**THIS AGENDA IS SUBJECT TO CHANGE  
UNTIL THE START OF THE PLANNING & ZONING COMMISSION MEETING**

**I. CALL TO ORDER**

**II. ADOPT AGENDA**

**III. COMMUNITY COMMENT**

**IV. CONSENT AGENDA**

1. Minutes of the November 27, 2022 Planning & Zoning Commission Meeting

**V. PUBLIC HEARINGS**

1. 2022-12 513 7<sup>th</sup> Avenue South Short-Term Rental CUP

**VI. OLD BUSINESS**

**VII. NEW BUSINESS**

1. 2022-13 Knollwood Towers North Concept Plan Review

2. 2022-15 102 & 106 11<sup>th</sup> Avenue South Concept Plan Review

**VIII. ANNOUNCEMENTS**

**IX. ADJOURN**

**HOPKINS PLANNING & ZONING COMMISSION  
REGULAR MEETING PROCEEDINGS  
SEPTEMBER 27, 2022**

**CALL TO ORDER**

Pursuant to due call and notice thereof a regular meeting of the Hopkins Planning & Zoning Commission was held on Tuesday, September 27, 2022 at 6:30 p.m. in the Council Chambers at City Hall, 1010 1<sup>st</sup> Street South.

Chairperson White called the meeting to order with Commission Members Wright, Sedoff, Nur, Goodlund and Green attending. Commissioner Terrill was absent. Also present was City Planner Krzos and Planner Howard.

**ADOPT AGENDA**

**Motion** by Sedoff. **Second** by Green.

**Motion** to Adopt Agenda as presented.

**Ayes: All.**

**Nays: None. Absent: Terrill. Motion carried.**

**COMMUNITY COMMENT**

None.

**CONSENT AGENDA**

**Motion** by Green. **Second** by Goodlund.

**Motion** to Approve the Consent Agenda

1. Minutes of the July, 26, 2022 Planning & Zoning Commission Meeting

**Ayes: All.**

**Nays: None. Absent: Terrill. Motion carried.**

**NEW BUSINESS**

1. Planning & Zoning Commission 2023 Annual Work Plan

City Planner Krzos presented overview information on the proposed 2023 Annual Work Plan. General discussion from the Commission on the work plan included continuing education and training, developing a community outreach plan and collaborating with the Park Board, and further exploration of the comprehensive plan as a starting point for understanding the priorities for development.

**ANNOUNCEMENTS**

- Two upcoming groundbreakings:
  - The Trilogy development at the corner of Blake Road and Excelsior Boulevard will have a groundbreaking for the second phase on September 28 at 3 p.m.

**HOPKINS PLANNING & ZONING COMMISSION  
REGULAR MEETING PROCEEDINGS  
SEPTEMBER 27, 2022**

- Alatus will hold a groundbreaking for the first building at 325 Blake Road on October 12 at 4:30 p.m.
- Tentative October Planning & Zoning Commission agenda items:
  - Concept review for redevelopment of the parking garages at Knollwood Towers into a new parking garage and apartment building.
  - Concept review for redevelopment of the two homes at 102 & 106 11<sup>th</sup> Avenue South into a 5 story multi-family apartment building.
  - Public hearing for a conditional use permit to allow short-term rental at 513 7<sup>th</sup> Avenue South.
- Kurt Howard was introduced as the new Planner for the City of Hopkins.
- Demolition of the movie theater will take place before the end of the year and construction is anticipated to continue throughout the winter.

**ADJOURNMENT**

**Motion** by Wright. **Second** by Sedoff.

**Ayes: All.**

**Nays: None. Absent: Terrill. Motion carried.**

The meeting adjourned at 7:10 p.m.

Respectfully submitted,  
Courtney Pearsall, Administrative Assistant

ATTEST:

---

Nathan White, Chair



Notes:

### **BACKGROUND**

The property at 513 7<sup>th</sup> Avenue South contains a single family home and detached garage constructed in 1941 per County records. The property also contains two off-street parking spaces located next to the detached garage off the alley. The property was purchased by the applicants in August of 2021 and is currently used for long-term rental. The applicants have applied for a conditional use permit to allow the property to be used for short-term rental.

### **ZONING AND LAND USE REVIEW**

The 2040 Comprehensive Plan – Cultivate Hopkins guides the future land use of this property as Traditional Urban. Traditional Urban land use is characterized by moderate density residential dwellings which are predominantly single family dwellings but include a mix of duplexes and attached units. The property is zoned as N3-B, Small Lot Traditional Neighborhood. This zone is primarily intended to accommodate detached houses, semi-detached houses, two-unit houses, and attached houses in a traditional neighborhood context featuring smaller lots. The Development Code identifies use of the property for short-term rental as allowable subject to the supplemental use regulations that are detailed on the following pages and upon approval of a conditional use permit.

### **PUBLIC HEARING AND NOTICE**

The procedures of the Development Code related to review of conditional use permits are detailed in Article 13 of the Development Code. These procedures require that a public hearing be held by the Planning & Zoning Commission and that notice of the public hearing be published in the City's official newspaper at least 10 days before the day of the public hearing. Additionally, the conditional use permit procedures require that mailed notice be provided to all owners and occupants of property within 500 feet of the subject property. Notice of the public hearing was published and mailed according to these procedures. The City has received no public comments to date.

### **CONDITIONAL USE PERMIT REVIEW AND APPROVAL CRITERIA**

A conditional use permit may be approved only if it is determined that the proposed conditional use meets all of the following criteria:

- 1) The proposed conditional use is consistent with the Comprehensive Plan and the purposes of the Development Code

Finding: Staff finds that the proposed use is consistent with the Comprehensive Plan and the purposes of the Development Code. Use of the property as a short-term rental will not significantly alter the property's relationship to or impact on the surrounding neighborhood. The built form of the property is consistent with the character of the Traditional Urban land use.

- 2) The proposed conditional use complies with all applicable provisions of the Development Code

Finding: Staff finds that with the proposed conditions detailed in the attached resolution, the proposed conditional use complies with the applicable provisions of the Development Code. Staff's review of the applicable supplemental use regulations are detailed on the following pages of this report.

- 3) The proposed conditional use will not be injurious to the neighborhood or otherwise detrimental to the public welfare

Finding: Staff finds that the proposed conditional use will not be injurious to the neighborhood or otherwise detrimental to the public welfare. Use of the property as a short-term rental will not significantly alter the property's relationship to or impact on the surrounding neighborhood.

### **ALTERNATIVES**

1. Recommend approval of the conditional use permit application. By recommending approval, the City Council would consider the recommendation of approval in making its decision to approve or deny the application.
2. Recommend denial of the conditional use permit application. By recommending denial, the City Council would consider the recommendation of denial in making its decision to approve or deny the application. Should the Planning & Zoning Commission consider this option, it must also identify specific findings that support this alternative.
3. Continue for further information. If the Planning & Zoning Commission indicates that further information is needed the item should be continued.

**ZONING REVIEW: 513 7<sup>th</sup> AVENUE SOUTH CONDITIONAL USE PERMIT FOR SHORT-TERM RENTAL**

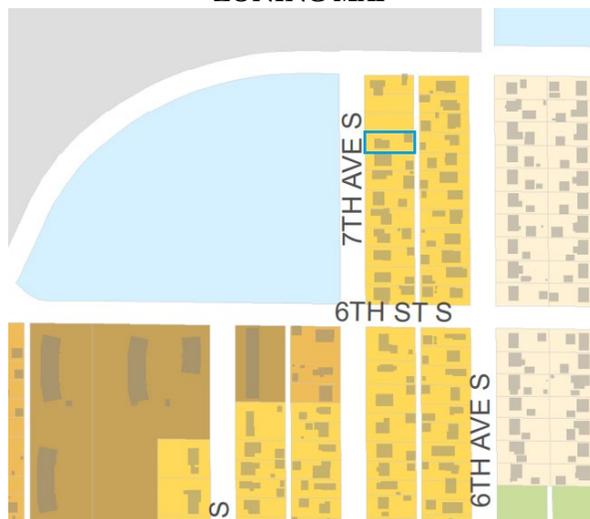
**Review Date:** October 25, 2022

**PROJECT DESCRIPTION:**

Application for a conditional use permit to use existing single family home for short-term rental

<b>BASE ZONE:</b>	N3-B	<b>PROPOSED USE:</b>	Short-Term Rental
<b>BUILDING TYPES ALLOWED:</b>	Traditional House	<b>COMPREHENSIVE PLAN DESIGNATION:</b>	Traditional Urban
<b>BUILDING TYPE SELECTED:</b>	Traditional House	<b>EXISTING USE:</b>	Household Living, 1 unit
<b>MASTER PLAN REQUIRED?</b>	No	<b>DEADLINE FOR ACTION</b>	November 26, 2022

**ZONING MAP**



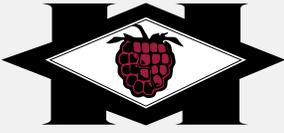
Review Key	
✓	Meets or exceeds regulation
N/A	Regulation does not apply
✗	Does not meet regulation
Cond.	Met per conditions
?	More Information Needed
PUD	PUD/Variance Deviation

**ARTICLE 5 PRINCIPAL USES**

Section of Code	Regulation	REVIEW NOTES
<b>102-580(h) SUPPLEMENTAL USE REGULATIONS</b>		
Cond.	102-580(h)(1) LICENSING AND PERTMITTING	Short-term rentals must comply with all applicable licensing and permit requirements of the City and Hennepin County. <b>Proposed condition requires that City licensing requirements be met prior to the use commencing. The City is not aware of any County licenses that need to be obtained.</b>
Cond.	102-580(h)(2) MAXIMUM OCCUPANCY	No more than 6 adults and their dependent children may occupy rooms within a short-term rental. <b>Proposed condition prohibits more than 6 adults and their dependent children occupying the short-term rental at one time.</b>
✓	102-580(h)(3) ACCESSORY DWELLING UNITS	Short-term rentals are not permitted on lots occupied by accessory dwelling units. <b>No accessory dwelling unit is present on the property.</b>
✓	102-580(h)(4) STRUCTURE AND SITE ALTERATIONS	External structural alterations or site improvements that change the residential character of the lot upon which a short-term rental is located are prohibited.

---

<b>Cond.</b> 102-580(h)(5) REGISTER OF RENTAL GUESTS	A register of short-term rental guests must be maintained and made available to the City upon request. <b>Proposed condition requires a register of short-term rental guests to be maintained and made available to the City upon request.</b>
<b>Cond.</b> 102-580(h)(6) SPECIAL EVENTS	Short-term rentals may not be used for special events to be attended by individuals who are not registered guests of the short-term rental unit. <b>Proposed condition prohibits use of the short-term rental for special events attended by individuals who are not registered guests.</b>



City of Hopkins *Planning & Zoning*

1010 1st Street South, Hopkins, MN 55343  
952.935.8474 | 952.935.1834 (fax) | www.hopkinsmn.com

Application Number \_\_\_\_\_

# Zoning Application

## Summary Form

Applicant Name *(Last, First)* Yevgeniy Ogranovich, Anna Ovsyannikova (married couple)

Daytime Phone 720-422-9591, 612-229-7009 Other Phone \_\_\_\_\_

Email Address anikova1@gmail.com

Mailing Address 15610 Holdridge Rd E City Wayzata State M ZIP 55391

Property Address 513 7th Ave S City Hopkins State M ZIP 55343

Owner (if other than applicant) Same

### Applicable Current Zoning Districts:

- R-1-A     R-2     B-1     Institutional
- R-1-B     R-3     B-2     Business Park
- R-1-C     R-4     B-3     Mixed Use
- R-1-D     R-5     I-1
- R-1-E     R-6     I-2

### Type of Zoning Request:

- Concept Review     Zoning District Change
- Conditional Use Permit     Subdivision Approval
- Variance     Ordinance Amendment
- Other

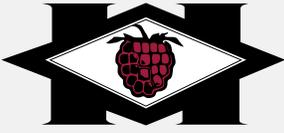
*I hereby certify that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.*

**X Applicant Signature**  **Date** 09/09/22

**X Owner Signature**  **Date** 09/09/22

## Administrative Data Summary (Office Use Only)

<p><b>Planning Commission Action</b>    Date _____</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p><b>Council Action</b>    Date _____</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Resolution Number _____</p> <p>Date of Public Hearing Notice _____</p> <p>Date of Public Hearing _____</p>	<p>Application Received _____</p> <p>Fee Paid _____</p> <p>Referred to City Engineer _____</p> <p>Referred to City Attorney _____</p> <p>Referred to Watershed District _____</p>
---	---



# Conditional Use Permit Application

Please print or type all information.

## A. General Data

Name of Applicant Yevgeniy Ogranovich, Anna Ovsyannikova

The above named individual, firm or corporation hereby respectfully submits the following data in support of the preliminary information provided on the accompanying zoning application summary form dated 09/09/2022 for the purpose of securing a Conditional Use Permit.

Contact Person (Last Name, First) Ogranovich, Yevgeniy Daytime Phone 720-422-9591

## B. Project Information

1. Specify the section of the ordinance which applied to this project: Short Term Rental Permit.

2. Brief narrative description of this request:  
We are applying for an approval of Short Term Rental Permit. This is a 2 bedroom, 1 bathroom Single Family house. We are experienced, very "hands on" hosts and will do our absolute best to make sure this property is managed in accordance with highest industry standards. We make sure our guests have good rating/reviews.

3. Written justification for request, including discussion of how any potential conflicts with existing nearby land uses will be minimized: We are not aware of any conflicts.

4. Check all additional supporting documents and data which are being submitted to help explain this project proposal.

- Site Plan
- Detailed Narrative
- Engineering Plans
- Elevations
- Topographic Map
- Operation Plans
- Landscaping Plans

## Signature

*I hereby certify with my signature that all data on my application forms, plans and specifications are true and correct to the best of my knowledge.*

X Signature of Applicant   Date 09/09/22

### For Office Use Only

Date \_\_\_\_\_

In accordance with Section \_\_\_\_\_ of Ordinance \_\_\_\_\_, the City of Hopkins hereby  approves,  denies the foregoing application for a Conditional Use Permit. If approved, said approval is subject to the following general and special provisions:

Authorized Signature \_\_\_\_\_ Title \_\_\_\_\_



## General Provisions

1. This permit is not valid until the resolution has been recorded at the Office of the County Recorder.
2. This permit does not constitute a building permit, sewage system permit, grading permit, land alteration permit, well permit, fence permit, sign permit or the like. Separate permits may have to be applied for and obtained in order to accomplish all the goals of the project authorized herein.
3. The issuance of this permit does not negate the need to secure other permits from other local units of government, state agencies or federal agencies who may also have jurisdiction over portion of your project.

---

## Expiration

A conditional use permit expires one year after it has been issued unless the use for which the permit has been granted is in effect. Extensions may be granted provided the applicant submits a letter to the zoning administrator requesting an extension 30 days before the expiration of said approval. The letter shall state the facts of the request, showing a good-faith attempt to utilize the permit, and it shall also state the additional time being requested to begin the proposed construction. The City Council may grant extensions not to exceed one year.

---

**From:** [Anna Ovsyannikova](#)  
**To:** [Kurt Howard](#)  
**Subject:** [EXTERNAL] NARRATIVE: 513 7th Ave S, Hopkins - Application for a Short term rental.  
**Date:** Wednesday, September 21, 2022 3:28:56 PM

---

Hello!

We are Anna and Yevgeniy (Eugene), applying for an approval to rent our house in Hopkins short term. We are experienced landlords with over 10 years of experience.

Recently we have rented our Minneapolis property as an Airbnb, and were very surprised at how much better home is being treated by the short term tenants. Now we can analyze the dynamics of that rental, and see what is working best.

Our Hopkins property is a small 2 bedroom, 1 bath Singles Family home. It would make a perfect Short Term Rental. It would not be able to accommodate a large group. Most likely, the tenants would be a family or a couple, unlike bigger homes that can be used for parties.

Airbnb platform gives both Guests and Hosts (Landlords) a rating. Anna is a 5 star (best score) host: meaning very hands on, immediate response to inquiries/problems, perfect condition of the property (interior, yard).

Guests are also rated by previous landlords (property cleanliness, communication, etc). With 5 stars being the highest rating.

We have strict House Rules:

- (!) We only allow tenants with 5 star rating to automatically book our property. All others are personally pre-screened by Anna and are approved on case-by-case basis. Our house is precious to us, so we are strict when it comes to approving guests. We also want to make sure our neighbors are happy and not bothered by tenants.
- No events/parties
- No smoking
- Quiet hours 9am - 9 pm. A \$500 penalty if the police is called to the property (never happened so far).

It is very important for both hosts and guests to maintain 5 star rating to ensure future bookings. Our guests have been absolutely amazing so far! There was less damage than our long term rentals. People are very respectful.

Advantages of renting property short term VS long term:

People typically come to an event (weddings, graduations, funeral, etc.), so they mostly eat and spend time outside the property with their families and friends and come home to sleep only. There is less cooking and wear/tear involved.

Parking:

There is a deeded pad in the back that can comfortably fit 2 cars.

There is also a detached 2 car garage that is being used for our own storage.

Pets:

Our present long term tenants have 2 dogs. We do not mind pets, but they will be approved on a case-by-case basis only to the tenants with previous good reviews

Outdoor light:

We do have a regular outdoor light that would stay on. We are not planning to install any motion activated or any sort of special lighting that would possibly disturb neighbors.

Move in:

Electronic lock will be used for the smooth self check-in process. It produces a unique combination for each guest and would only work for the dates rented.

For the neighborhood:

Airbnb has a very high standard for the condition of the property. It has to be kept in a perfect, clean and neat shape, which is great for the neighborhood. We hire a professional cleaning crew, lawn and landscape maintenance and snow cleaning services. Unlike long term rental, where yard can get neglected. Airbnb hosts stand to provide a "home like" experience with cozy and elegant spaces. Outdoor is one of the appealing parts, so having it neatly designed and maintained is important (which is great for the neighborhood as well).

Our property is precious to us. We want to make sure it is treated well by the tenants (either long or short term). Safety and well being of the neighborhood is our top priority. We are asking to grant us the permission to rent our property short term. As experienced landlords, we will do our best to run it properly.

Thank you!

Anna and Eugene

**CITY OF HOPKINS  
HENNEPIN COUNTY, MINNESOTA**

**PLANNING & ZONING COMMISSION RESOLUTION 2022-09**

**RESOLUTION RECOMMENDING THE CITY COUNCIL APPROVE THE CONDITIONAL USE  
PERMIT APPLICATION FOR 513 7<sup>TH</sup> AVENUE SOUTH TO BE USED FOR SHORT-TERM  
RENTAL, SUBJECT TO CONDITIONS**

**WHEREAS**, the applicants, Yevgeniy Ogranovich and Anna Ovsyannikova, have submitted an application for a conditional use permit to allow short-term rental of their property located at 513 7<sup>th</sup> Avenue South; and

**WHEREAS**, the subject property is legally described as Lot 21, Block 49, West Minneapolis, Hennepin County, Minnesota; and

**WHEREAS**, the procedural history of the application is as follow:

1. That the above state application was initiated by the applicant on September 26, 2022
2. That the Hopkins Planning and Zoning Commission, pursuant to published and mailed notice, held a public hearing on the application and reviewed such application on October 25, 2022; all persons present were given an opportunity to be heard; and
3. That written comments and analysis of City staff were considered; and

**WHEREAS**, staff recommended approval of the above stated application based on the findings outlined in the staff report dated October 25, 2022

**NOW THEREFORE BE IT RESOLVED**, that the Planning & Zoning Commission of the City of Hopkins hereby recommends the City Council approve the Conditional Use Permit application from Yevgeniy Ogranovich and Anna Ovsyannikova to use the property at 513 7<sup>th</sup> Avenue South for Short-Term Rental, subject to the conditions listed below.

1. All applicable licensing and permit requirements of the City must be met before the use commences.
2. No more than 6 adults and their dependent children may occupy the short-term rental at one time.
3. A register of short-term rental guests must be maintained and made available to the City upon request.
4. Use of the short-term rental for special events attended by individuals who are not registered guests is prohibited.
5. A Resolution approving the conditional use permit must be recorded against the property with the Hennepin County Recorder's Office and receipt of said recording must be provided to the City before the use commences.

Adopted this 25<sup>th</sup> day of October, 2022.

\_\_\_\_\_  
Nathan White, Chair



## **BACKGROUND**

Knollwood Towers East, a six-story 129-unit, multi-family apartment building was originally constructed in 1968. Knollwood Towers West, a seven-story 187-unit multi-family apartment building was constructed in 1970. The 5.41 acre parcels comprising Knollwood Towers also contains two structured parking buildings (containing 206 and 128 stalls respectively) and associated surface parking areas with 106 total stalls – totaling 440 stalls or 1.39 per existing residential unit. Both of these existing parking structures are beyond their useful life. The applicant, on behalf of the current owner, has now come forward with a concept plan for development of a seven-story, 139-unit, multi-family apartment building in the location of the parking structures. A five-story, 365-stall structured parking building would also be constructed. With 46 existing surface stalls, 25 new surface stalls, and 137 stalls within the new building; a total of 573 parking stalls are proposed or 1.26 per residential unit.

## **PUBLIC COMMENT**

As a concept plan review, no public hearing is required. However, the City did require the applicant to hold a neighborhood meeting to gather feedback from the community. The meeting was held on October 20<sup>th</sup> at the Cambridge Towers Community Room. The applicant mailed invitations to property owners and residents within 500 feet of the subject property (the same notification distance required of a typical public hearing). A summary of the neighborhood meeting is included as an attachment. Signage informing the community of a development proposal was displayed on the site. The City received one email message regarding the concept plans, which is also attached.

## **ZONING AND LAND USE REVIEW**

The 2040 Comprehensive Plan Update – Cultivate Hopkins guides this property as Activity Center. According to the Comprehensive Plan, Activity Centers surround and support the planned Blake Road and Shady Oak light rail stations along the Southwest LRT Green Line Extension. These areas will include moderate to high density mixed use development designed to complement and enhance the existing development pattern in these areas and support the public investment in transit. The Activity Center areas are expected to experience significant reinvestment and redevelopment to absorb a substantial portion of the city's anticipated future growth.

Development in the Activity Center areas is expected to be medium to larger scale neighborhood and regional uses. Overall, densities in the Activity Center category will range from 20-60 units per acre; however, densities within ¼ mile of an LRT station platform must range between 75-150 units per acre within. The subject site is within ¼ mile of the Blake Road LRT Station. Inclusive of the two existing residential buildings, residential density would equate to 84.1 units per acre (455 total proposed and existing units within a total area of 5.41 acres). Accordingly, the proposal would bring the existing site more in-line with the residential density envisioned by the Comprehensive Plan.

A detailed assessment of the proposed concept plans against the provisions of the Zoning Code is provided as an attachment. While there are a number of issues identified that are expected to be addressed as the plans get further refined, a summary of key items is provided below:

- Lack of primary pedestrian entry along Blake Road.
- Excess setback from Blake Road.
- Compliance with building design requirements that ensure visual variety in the treatment of

facades along longer street-facing portions of the building.

- Missing definition along parapet roof by way of shadow lines.
- Lack of a second vertical division with shadow line along Lake St façade.
- Application of more than one major façade material within building façade segments 60-foot or larger. Additionally, the applicant will need to verify that the major materials proposed would qualify as such.
- Second story balconies are projecting and not integrated into the building's architecture.
- Compliance with parking structure design requirements.
- Potential compliance with requirements of large-scale Planned Unit Developments as further discussed below.

**Planned Unit Development.** The Zoning Code states that property owners must apply for Large-Scale Planned Unit Development overlay zoning whenever a site, three (3) acres or larger, is developed with multiple buildings, or if a subdivision is involved. Due to the configuration of the site, the proposed concept would necessitate the owner to either pursue approval under two scenarios:

- 1) Combining the two existing parcels into one resulting in multiple buildings on the lot. Since the existing parcels when combined are over three acres, the requirement for the Large-scale Planned Unit Development form of approval would apply under this scenario.
- 2) The two existing parcels are re-subdivided to create a new parcel for the proposed North building, with separate parcels for the existing East and West buildings respectively. Staff is interpreting this scenario as not meeting the threshold for a required Large-scale Planned Unit Development, so long as the resulting parcel is less than three acres. It should be noted that the applicant could pursue an optional Small-scale Planned Unit Development in this scenario. Alternatively, under this scenario the applicant could request a straight zoning approval, by way of site plan review, provided all of the zoning provisions are adhered to.

Large-scale Planned Unit Developments are intended to promote master-planned development of large parcels with a system of streets, blocks, and open spaces, and a mix of zones to create new, walkable neighborhoods. Accordingly, the requirements for a Large-scale Planned Unit Development, which are detailed in Section 102-440(f), would include a required mix of zones, a compact layout of blocks and new streets, further refined pedestrian oriented features, and provision of civic spaces within 10% of the project. The Large-scale Planned Unit Development process would also require the applicant to contemplate and plan for how abutting parcels that are vacant or anticipated to be redeveloped within 10 years would be incorporated in the development as it relates to such items as access, street layout and mixing of uses. Staff will continue to work with the owner to better understand the constraints in order to identify the proper avenue of review.

The purpose of any Planned Unit Development is to provide a cohesive development by way of allowing flexibility from traditional development standards in return for a higher quality development. Typically, the City looks for a developer to exceed other zoning standards, building code requirements or meet other goals of the Comprehensive Plan. In exchange for the flexibility offered by the Planned Unit Development process, the applicant is expected to detail how they

intend to provide a higher quality development or meet other City goals. The typical list of items the City considers when evaluating the use of a Planned Unit Development for this site includes, but is not limited to, the items listed below:

- Enhanced architectural design and building materials
- Natural resource protection and storm water management
- Pedestrian and bicycle facilities in excess of minimums
- Affordable housing
- Enhanced sustainability or livability elements
- Energy conservation and renewable energy
- Open space preservation
- Enhanced landscaping, streetscape, public art, or buffering

### **POTENTIAL REVIEW PROCESS**

Based on the applicant's concept plan, staff anticipates this project will need the approvals listed below. The applicant should use feedback from the Planning & Zoning Commission and City Council to prepare these applications:

- Planned Unit Development accompanied by execution of a Planned Unit Development Agreement (as described above).
- Site Plan Review is necessary under the re-subdivision scenario provided there are no requested deviations from the Zoning Code.
- Lot Combination or Subdivision approval. As proposed by the concept plan, this process may not necessarily require additional review by the Planning & Zoning Commission or approval by the City Council.
- Approvals from the Minnehaha Creek Watershed District.

### **ENGINEERING COMMENTS**

The Engineering and Public Works department has reviewed the applicant's concept plan and offered the following comments:

- A traffic study will need to be completed to determine any impacts the development will have to adjacent streets and the transportation network. There are other planned developments adjacent to this site and the study should take into account the anticipated impacts from those in the analysis.
- A review of the City's sewer capacity in the vicinity and water model will need to be completed. There are other planned developments adjacent to this site and the review should take into account the anticipated impacts from those in the analysis.
- The site is within the Minnehaha Creek Watershed District and the applicant will need to obtain a storm water permit from the District.

### **RECOMMENDATION**

As a concept review, this application does not require formal action by the Planning & Zoning Commission; however, the Commission should discuss the proposal, particularly as it relates to the flexibilities and offsets for a potential PUD process, so they can work toward preparing a future, formal submittal.

# Knollwood Apts

1010 Lake Street Northeast, Hopkins, MN 55343  
 09/23/2022  
 #21048



CONCEPTUAL RENDERING - NORTHEAST (BLAKE RD & LAKE ST)



Diagrammatic View Looking Southwest



Diagrammatic View Looking Northeast

## CONTENTS

COVER	0.0
PROJECT SUMMARY	0.1
PROJECT DATA	0.2
SITE PHOTOS - SITE CONTEXT	0.3
ADJACENT BUILDINGS	0.4
SITE PLAN - EXISTING	1.0
SITE PLAN - PROPOSED	1.1
FLOOR PLAN - LEVEL -1	3.0
FLOOR PLAN - LEVEL 1	3.1
FLOOR PLAN - LEVEL 2	3.2
FLOOR PLAN - TYP. HOUSING LEVEL	3.3
FLOOR PLAN - LEVEL 7	3.4
BUILDING SECTION	4.0
CONCEPTUAL RENDERING	5.0
CONCEPTUAL RENDERING	5.1
CONCEPTUAL RENDERING	5.2
EXTERIOR ELEVATIONS	6.0
EXTERIOR ELEVATIONS	6.1
RAMP IMAGES	7.0

# PROJECT NARRATIVE

## LOCATION

1010 Lake St NE. Hopkins, MN 55343  
Currently comprised of:

187 unit Knollwood West with 46 surface stalls and 206 covered stalls

129 unit Knollwood East with 60 surface stalls and 128 covered stalls  
316 units, 440 stalls.

139 unit Knollwood North -not built

both existing garages beyond useful life repairs can only be temporary.

goal: Feb 2023 Knollwood east Retrofitted. March 2023. West Ramp removed, as well as pool building for KW. new ramp built that will house 368 stalls + 32 stalls of Knollwood North

Temp Street Parking will be needed for short term agreement with city.

Ramp Projected Opening 4th of July 2023. Knollwood East Ramp demolished

Potential for Ground Break of Knollwood North Aug 15, 2023-opening Oct. 2024.

## ZONING

RX-TOD with a complex site such as this some variance may be expected however RX-TOD embraces density

high quality materials and resident amenities are expected.

there will be expectations that amenities be maintained for Knollwood West and East, and some level of affordability be maintained for K.W and K.E.

Recommend Storage and Maintenance areas lost in KW will be replaced under new Ramp at Northwest quadrant.

# CONSTRUCTION

## PRE-RAMP RENOVATION

Knollwood West (K.W. ) will lose storage, maintenance and trash

Langerman can build temp trash enclosure during the 4 months of ramp construction

maintenance can be moved to Cambridge which has an open maintenance space

there is a maintenance space in the KW footprint that should be renovated to fitness/community once the ramp is built.

\$750,000

## RAMP COST

Langermand General  
Taracon Precast of Fargo, who will build and install all precast elements including stairs, and cabling, and stairs, joint caulking

30000-footings Langerman sub  
30000- curbs at all levels

5000- mis rails in stairs and snow gates

7000-drivable surface, maintained yearly

8000-glazing at stairs

22000-plumbing drains each floor  
misc hose bibs

26000-lighting, low volt security

Estimated cost \$8,000,000

## HOUSING COST

139 x \$200k/unit=28,000,000

## MISC SITE COSTS

\$500,000

# PROJECT TEAM

## DEVELOPMENT

IPG Living  
18006 Sky Park Circle  
Irvine, CA 92614  
Julie Rodriguez: (714) 438-9191

## ARCHITECT

Kaas Wilson Architects  
1301American Blvd E, Suite 100  
Bloomington, MN 55425  
(612) 879-6000

## CIVIL ENGINEER

Civil Site Group  
5000 Glenwood Ave  
Golden Valley, MN 55422  
(612) 615-0060

## STRUCTURAL ENGINEER

BKBM  
6120 Earle Brown Drive, Suite 700  
Minneapolis, MN 55430  
(763) 843-0420



① Existing Site Location Aerial  
1" = 100'-0"





WOOD-FRAMED TOTAL: 126,302 FT<sup>2</sup>

POST-TENSION TOTAL: 78,663 FT<sup>2</sup>

### GROSS AREA - TOTAL

Level	Area
Level 7	25,289 ft <sup>2</sup>
Level 6	25,277 ft <sup>2</sup>
Level 5	25,277 ft <sup>2</sup>
Level 4	25,277 ft <sup>2</sup>
Level 3	25,277 ft <sup>2</sup>
Level 2	22,239 ft <sup>2</sup>
Level 1	22,347 ft <sup>2</sup>
Level -1	33,977 ft <sup>2</sup>
Grand total	204,960 ft <sup>2</sup>

#### EXISTING SITE PARKING (316 TOTAL UNITS):

Surface Stalls: 106  
 Covered Stalls (West): 206  
 Covered Stalls (East): 128

Total Stalls: 440 (1.39 STALLS/UNIT)

#### PROPOSED SITE PARKING (455 TOTAL UNITS):

Surface Stalls: 71  
 Ramp Stalls: 365  
 Apartment Garage Stalls: 137

Total Stalls: 573 (1.26 STALLS/UNIT)

### UNIT MIX - GROSS AREA

Name	Count	Unit Gross Area	Total Area	%
		Main Floor		
<b>0 BR Alcove)</b>				
Unit 0-2	2	502 ft <sup>2</sup>	1,003 ft <sup>2</sup>	1.4%
Unit 0-3	5	597 ft <sup>2</sup>	2,986 ft <sup>2</sup>	3.6%
	7		3,989 ft <sup>2</sup>	5.0%
<b>1BR</b>				
Unit 1-3	65	747 ft <sup>2</sup>	48,533 ft <sup>2</sup>	46.8%
Unit 1-4	5	728 ft <sup>2</sup>	3,640 ft <sup>2</sup>	3.6%
Unit 1-8	1	724 ft <sup>2</sup>	724 ft <sup>2</sup>	0.7%
Unit 1-9	1	780 ft <sup>2</sup>	780 ft <sup>2</sup>	0.7%
Unit 1-10	1	672 ft <sup>2</sup>	672 ft <sup>2</sup>	0.7%
	73		54,351 ft <sup>2</sup>	52.5%
<b>1BR+DEN</b>				
Unit 1.5-1	5	981 ft <sup>2</sup>	4,907 ft <sup>2</sup>	3.6%
	5		4,907 ft <sup>2</sup>	3.6%
<b>2BR</b>				
Unit 2-2	3	1,222 ft <sup>2</sup>	3,665 ft <sup>2</sup>	2.2%
Unit 2-2B	1	1,165 ft <sup>2</sup>	1,165 ft <sup>2</sup>	0.7%
Unit 2-3	10	1,283 ft <sup>2</sup>	12,829 ft <sup>2</sup>	7.2%
Unit 2-4	4	1,145 ft <sup>2</sup>	4,579 ft <sup>2</sup>	2.9%
Unit 2-6	15	1,117 ft <sup>2</sup>	16,758 ft <sup>2</sup>	10.8%
Unit 2-8	10	1,003 ft <sup>2</sup>	10,031 ft <sup>2</sup>	7.2%
Unit 2-9	1	1,213 ft <sup>2</sup>	1,213 ft <sup>2</sup>	0.7%
	44		50,241 ft <sup>2</sup>	31.7%
<b>3BR</b>				
Unit 3-0	10	1,591 ft <sup>2</sup>	15,913 ft <sup>2</sup>	7.2%
	10		15,913 ft <sup>2</sup>	7.2%
Grand total	139		129,401 ft <sup>2</sup>	100.0%



Knollwood West towers from Lake Street - largest trees planted near building

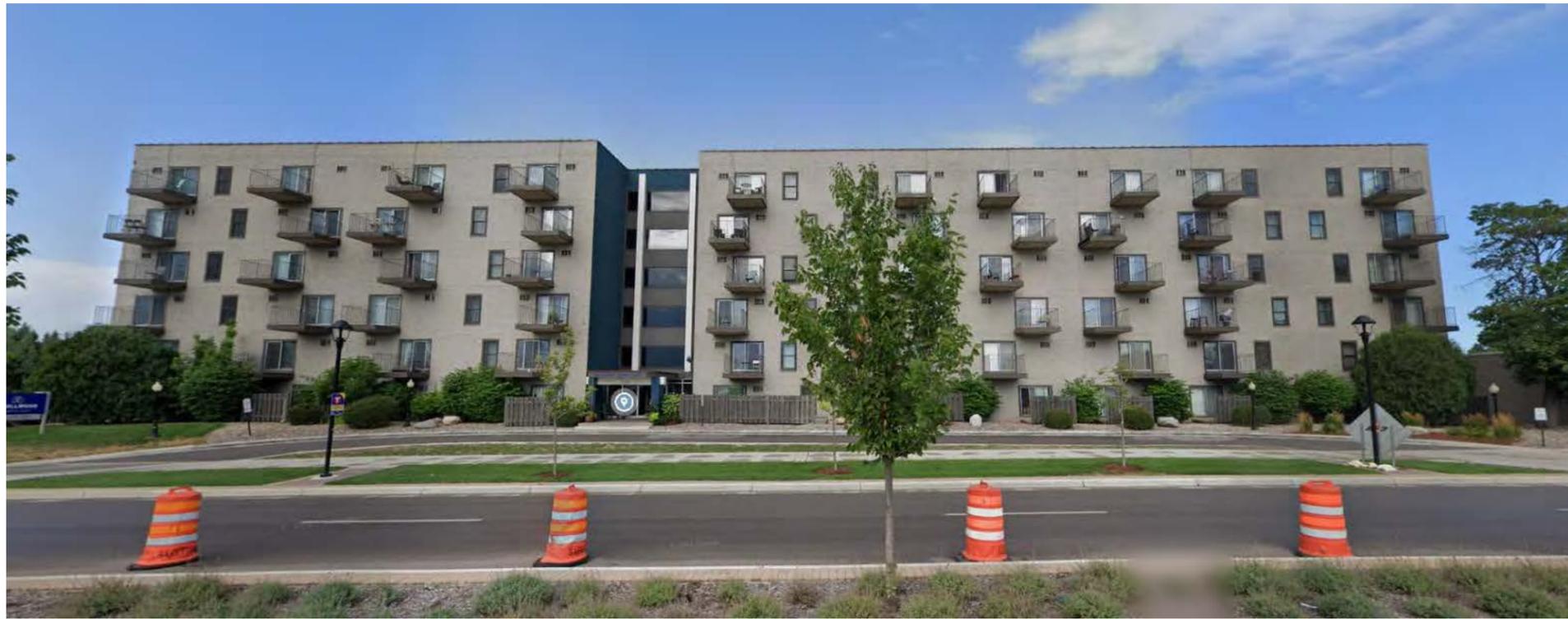


Knollwood West parking garage from Lake Street



**SITE AMENITIES:**

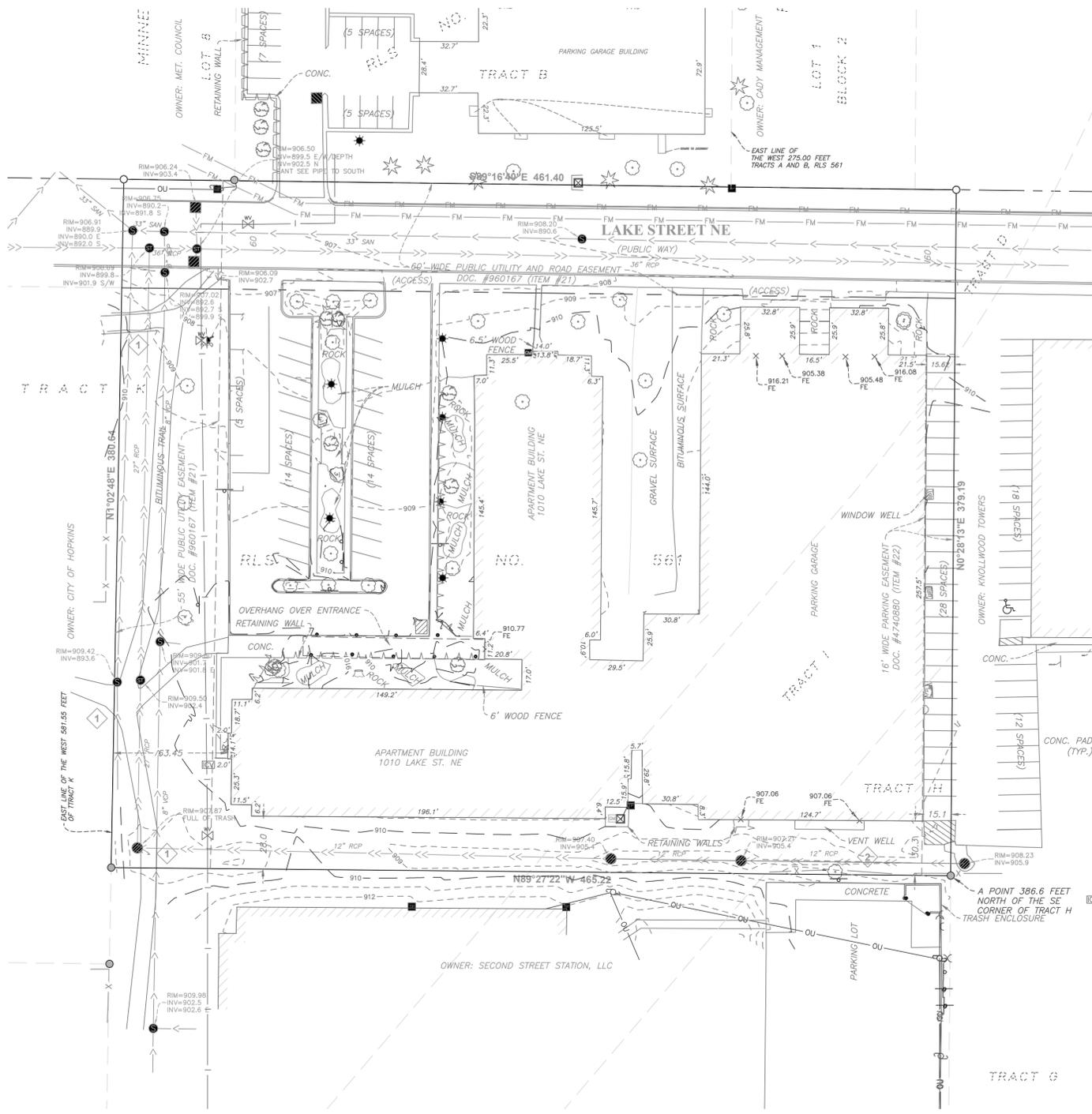
- Light rail station coming 2023
- Shoppes at Knollwood (formerly Knollwood Mall) in walking distance
- 2 public parks border the property
- Minneapolis skyline views from site (above 3 stories)
- Minnehaha Creek adjacent to property
- Neighboring property under development



← KNOLLWOOD TOWERS EAST

KNOLLWOOD TOWERS WEST →





### PROPERTY DESCRIPTION

Description as provided in Old Republic National Title Insurance Company Commitment No. ORTE744502A which has an effective date of August 12, 2018 at 7:00 A.M.

Parcel 1: That part of Tract H and I, Registered Land Survey No. 561, County of Hennepin, lying North of a line drawn at right angles to the East line of said Tract H from a point therein distant 386.6 feet North of the Southeast corner of said Tract H.

Parcel 2: All that part of Tract K, Registered Land Survey No. 561, County of Hennepin, lying East of a line parallel with and 581.55 feet East, measured at right angles from the West line of said Tract K, except that part thereof, lying South of a line drawn at right angles to the East line of Tract H in said Registered Land Survey No. 561, from a point therein distance 386.6 feet North of the Southeast corner of said Tract H.

Torrens Property  
Being registered land as is evidenced by Certificate of Title No. 1458325

### NOTES CORRESPONDING TO SCHEDULE B - 2

Items corresponding to Schedule B Section 2 as provided in Old Republic National Title Insurance Company Commitment No. ORTE744502A which has an effective date of August 12, 2018 at 7:00 A.M.

Items 2-20 and 25 are not survey related and are not addressed herein.

Item 1. Any discrepancies, conflicts, easements, boundary line disputes, encroachments or protrusions, or overlapping of improvements which would be disclosed by an inspection and accurate survey of the premises. - THE SURVEYOR HAS MADE A GOOD FAITH EFFORT TO DISCLOSE ANY ISSUES DESCRIBED ABOVE THAT WERE OBSERVED DURING THE COURSE OF THE SURVEY.

Item 21. Easement to construct, operate and maintain sanitary sewers, storm sewers and water mains in favor of the City of Hopkins as evidenced by Quit Claim Deed filed December 17, 1969 as Document No. 960167. - SAID EASEMENT IS SHOWN HEREON.

Item 22. Terms, conditions and easements of Parking Area Easement in favor of Knollwood Towers, LLP dated March 24, 2010, filed March 29, 2010 as Document No. 4740880. - SAID EASEMENT IS SHOWN HEREON.

Item 23. Subject to Lake St NE as laid out and traveled as shown on available GIS map. - SAID LAKE STREET AS TRAVELED IS SHOWN HEREON.

### TABLE "A" OPTIONAL ITEMS

- Property corner markers were placed as shown.
- Property addresses: 1010 Lake Street NE Hopkins, MN.
- Flood zone classification: this property is located in Zone X of the FEMA Flood Insurance Rate Map Number 27053C0342F, which has an effective date of 11/4/2016.
- Gross land area: 4.04 Acres
- Zoning classification: No zoning report or letter was provided by the client
- Setbacks: No zoning report or letter was provided by the client
- Exterior building dimensions shown are the exterior facade at chest height. underground footings and foundations and roof lines/eaves may extend outside the building lines shown.
- Substantial features observed during fieldwork are shown.
- There are 268 standard and 0 handicap striped parking spaces on the subject property.
- There were no party walls designated by the client.
- Names of owners of adjoining lands were obtained from the Hennepin County GIS website.
- There were no observable signs of recent construction or earthmoving on the subject property at the time of survey.
- Plottable offsite easements (if any) are shown hereon.

### STATEMENT OF POSSIBLE ENCROACHMENTS

The following possible encroachment notes are intended to draw the users attention only, the surveyor does not guarantee that the items noted below are in fact encroachments or that all possible encroachments are shown hereon.

- 1 Bituminous path provides access to city park across subject property.
- 2 Fencing lies on subject property, ownership or maintenance responsibilities are unknown to the surveyor.

### CERTIFICATION

To: BLF Holdings LLC, a Washington limited liability company, Fannie Mae, its successors and/or assigns, Wells Fargo Bank, National Association, its successors and/or assigns, and Old Republic National Title Insurance Company: This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6a, 6b, 7a, 8, 9, 10a, 13, 16 and 19 of Table A thereof.

Date of fieldwork: 8/2/2018

*Chris Ambourn* 9-17-2018  
Chris Ambourn, MN. License 43055 Date

REVISED 8-30-21... ADDED TOPOGRAPHIC SURVEY INFORMATION

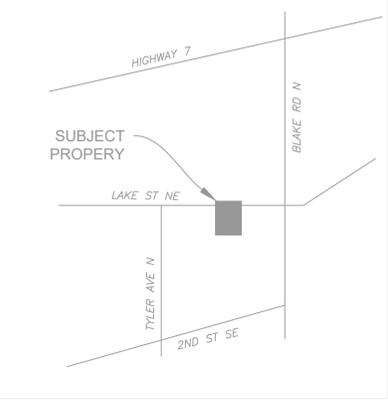
### GENERAL NOTES

- Bearings shown hereon are based on the Hennepin County Coordinate System relative to the NAD83(11) control adjustment.
- Elevations and contours shown hereon were established with GPS and are relative to the NAVD88 vertical datum.



CLIENT NAME		PROJECT TITLE	
SAGE MANAGEMENT		KNOLLWOOD TOWERS WEST ALTA/NSPS LAND TITLE SURVEY	
DWN BY	CHK'D	APP'D	DWG DATE
CNA	XXX	XXX	SEPT 2018
PROJECT NO.		SCALE	
227704324		1" = 40'	
SHEET NO.		1 OF 1	

### VICINITY MAP

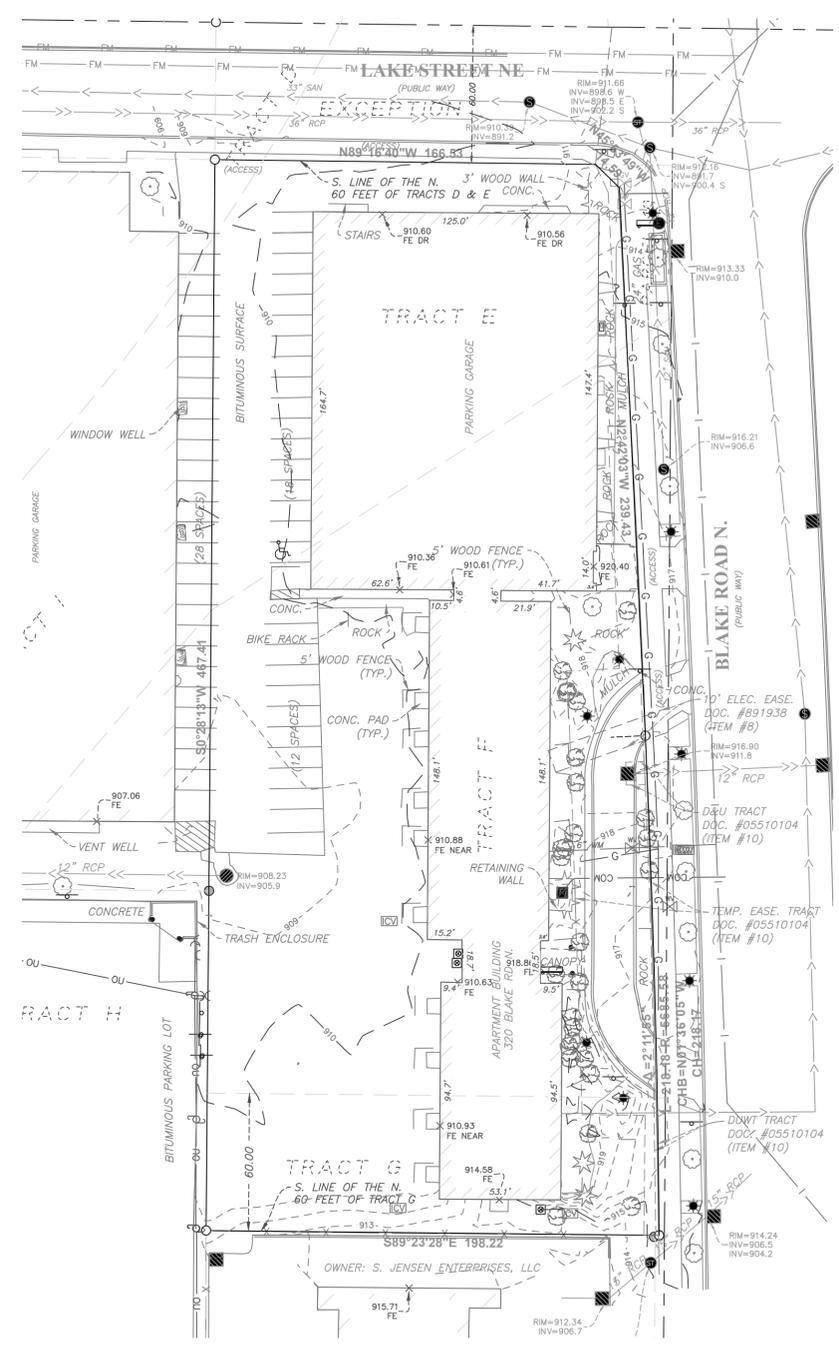


### LEGEND

- SET 3/4"ODx14" IRON PIPE WITH PLASTIC CAP 43055 OR MAG NAIL W/WASHER
- FOUND MONUMENT
- ⊗ STORM SEWER INLET
- ⊙ STORM SEWER INLET
- ⊕ SANITARY SEWER MANHOLE
- ⊖ GAS METER
- ⊗ ELECTRICAL TRANSFORMER
- ⊙ TRAFFIC SIGN
- ⊙ BOLLARD/POST
- ⊙ LIGHT POLE
- ⊙ HANDICAP PARKING SPACE
- ⊙ TRAFFIC SIGN
- ⊙ UTILITY POLE
- ⊙ ANCHOR CABLE
- ⊙ AUTO SPRINKLER
- X- FENCE LINE
- G- UNDERGROUND GAS LINE
- COM- UNDERGROUND COMMUNICATION LINE
- OU- RETAINING WALL
- >>- OVERHEAD UTILITY LINE
- >- STORM SEWER
- >- SANITARY SEWER
- FM- FORCEMAIN
- I- WATERMAIN
- - - TREE LINE
- - - BUILDING
- ⊙ STUMP
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ SHRUB/BUSH



Plot Date & Time: 31 August 2021 4:16 PM  
\\un208-sprf01\shared\_projects\227704324\_Geodetic\Survey\227704324\_Knollwood\_Towers\_East\_ALTA.dwg



### PROPERTY DESCRIPTION

Description as provided in Old Republic National Title Insurance Company Commitment No. ORTE744502A which has an effective date of August 12, 2018 at 7:00 A.M.  
Tract D and E, except the North 60 feet of said Tracts, Tract F,  
The North 60 feet of Tract G,  
Registered Land Survey No. 561 County of Hennepin, except that part of said Tracts E, F and G which is designated and delineated as Parcel 10, Hennepin County Right of Way Map No. 2.  
Torrens Property  
Being registered land as is evidenced by Certificate of Title No. 1458328

### NOTES CORRESPONDING TO SCHEDULE B - 2

Items corresponding to Schedule B Section 2 as provided in Old Republic National Title Insurance Company Commitment No. 70RTE744502A which has an effective date of August 12, 2018 at 7:00 A.M.  
Items 2-17, and 21-25 are not survey related and are not addressed herein.  
Item 1. Any discrepancies, conflicts, easements, boundary line disputes, encroachments or protrusions, or overlapping of improvements which would be disclosed by an inspection and accurate survey of the premises. - THE SURVEYOR HAS MADE A GOOD FAITH EFFORT TO DISCLOSE ANY ISSUES DESCRIBED ABOVE THAT WERE OBSERVED DURING THE COURSE OF THE SURVEY.  
Item 18. Easement to construct, install, mark, operate, inspect, maintain, repair, alter, replace, rebuild or remove electric cables and related appurtenances together with incidental rights thereof in favor of Northern States Power Company as evidenced by Underground Easement filed October 30, 1967 as Document No. 891938. - SAID EASEMENT IS SHOWN HEREON  
Item 19. Easements for drainage, utilities and trail purposes together with incidental rights thereof in favor of the City of Hopkins as evidenced by Easements dated January 15, 2018, filed February 5, 2018 as Document No. 5510104. - SAID EASEMENTS ARE SHOWN HEREON.

### TABLE "A" OPTIONAL ITEMS

- 1. Property corner markers were placed as shown.
- 2. Property addresses: 320 Blake Road, Hopkins, MN.
- 3. Flood zone classification: this property is located in Zone X of the FEMA Flood Insurance Rate Map Number 27053C0342F, which has an effective date of 11/4/2016.
- 4. Gross land area: 2.02 Acres
- 5a. Zoning classification: No zoning report or letter was provided by the client
- 5b. Setbacks: No zoning report or letter was provided by the client
- 7a. Exterior building dimensions shown are the exterior facade at chest height. underground footings and foundations and roof lines/eaves may extend outside the building lines shown.
- 8. Substantial features observed during fieldwork are shown.
- 9. There are 160 standard and 0 handicap parking spaces on the subject property.
- 10a. There were no party walls designated by the client.
- 13. Names of owners of adjoining lands were obtained from the Hennepin County GIS website.
- 16. There was observable signs of recent construction or earthmoving on the subject property due to road construction at the time of survey.
- 19. Plottable offsite easements (if any) are shown hereon.

### STATEMENT OF POSSIBLE ENCROACHMENTS

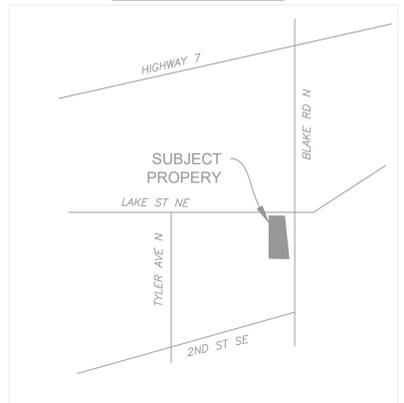
The following possible encroachment notes are intended to draw the users attention only, the surveyor does not guarantee that the items noted below are in fact encroachments or that all possible encroachments are shown hereon.

- 1 Fence lies on subject property, ownership and maintenance responsibilities are unknown to the surveyor.
- 2 Intentionally deleted.
- 3 Road construction extends onto subject property outside of the temporary construction easement.

### CERTIFICATION

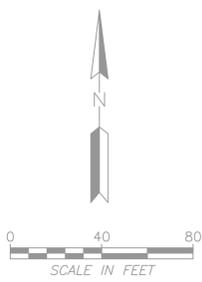
To: BLF Holdings LLC, a Washington limited liability company, Fannie Mae, its successors and assigns, Wells Fargo Bank, National Association, its successors and/or assigns, and Old Republic National Title Insurance Company: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6a, 6b, 7a, 8, 9, 10a, 13, 16 and 19 of Table A thereof.  
Date of fieldwork: 8/2/2018  
*Chris Amburn* 9-17-2018  
Chris Amburn, MN. License 43055 Date  
REVISED 8-30-21... ADDED TOPOGRAPHIC SURVEY INFORMATION

### VICINITY MAP



### LEGEND

- SET 3/4"ODx14" IRON PIPE WITH PLASTIC CAP 43055 OR MAG NAIL W/WASHER
- FOUND MONUMENT
- ⊗ STORM SEWER INLET
- ⊕ STORM SEWER INLET
- ⊙ SANITARY SEWER MANHOLE
- ⊞ GAS METER
- ⊠ ELECTRICAL TRANSFORMER
- ⊡ TRAFFIC SIGN BOLLARD/POST
- ⊣ LIGHT POLE
- ⊤ HANDICAP PARKING SPACE
- ⊥ TRAFFIC SIGN
- ⊦ UTILITY POLE
- ⊧ ANCHOR CABLE
- ⊨ AUTO SPRINKLER
- X FENCE LINE
- G UNDERGROUND GAS LINE
- COM UNDERGROUND COMMUNICATION LINE
- RETAINING WALL
- OU OVERHEAD UTILITY LINE
- >> STORM SEWER
- > SANITARY SEWER
- FM FORCEMAIN
- I WATERMAIN
- TREE LINE
- BUILDING
- STUMP
- DECIDUOUS TREE
- ★ CONIFEROUS TREE
- ⊙ SHRUB/BUSH



### GENERAL NOTES

- 1. Bearings shown hereon are based on the Hennepin County Coordinate System relative to the NAD83(11) control adjustment.
- 2. Elevations and contours shown hereon were established with GPS and are relative to the NAVD88 vertical datum.

**WENCK ASSOCIATES**  
Responsive partner. Exceptional outcomes.  
1802 WOODDALE DRIVE WOODBURY, MN 55125 Ph: 651-395-5212

CLIENT NAME		PROJECT TITLE	
SAGE MANAGEMENT		KNOLLWOOD TOWERS EAST ALTA/NSPS LAND TITLE SURVEY	
DWN BY	CHK'D	APP'D	DWG DATE
CNA	XXX	XXX	SEPT 2018
PROJECT NO.		SCALE	
227704324		1" = 40'	
SHEET NO.		1 OF 1	

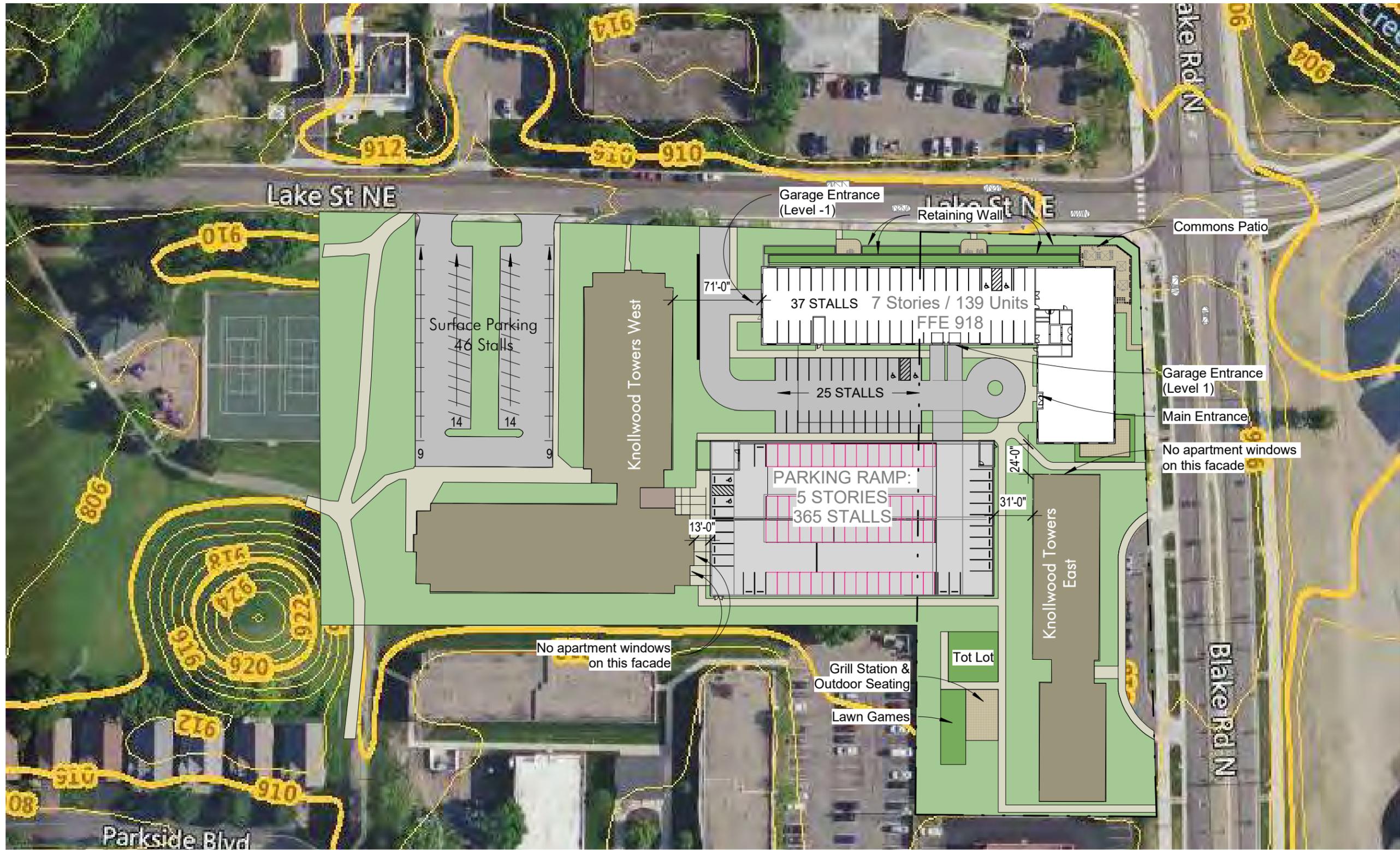


EXISTING SITE PARKING:

Surface Stalls: 138  
 Covered Stalls (West): 103 x 2 = 206  
 Covered Stalls (East): 128  
 Total: 472

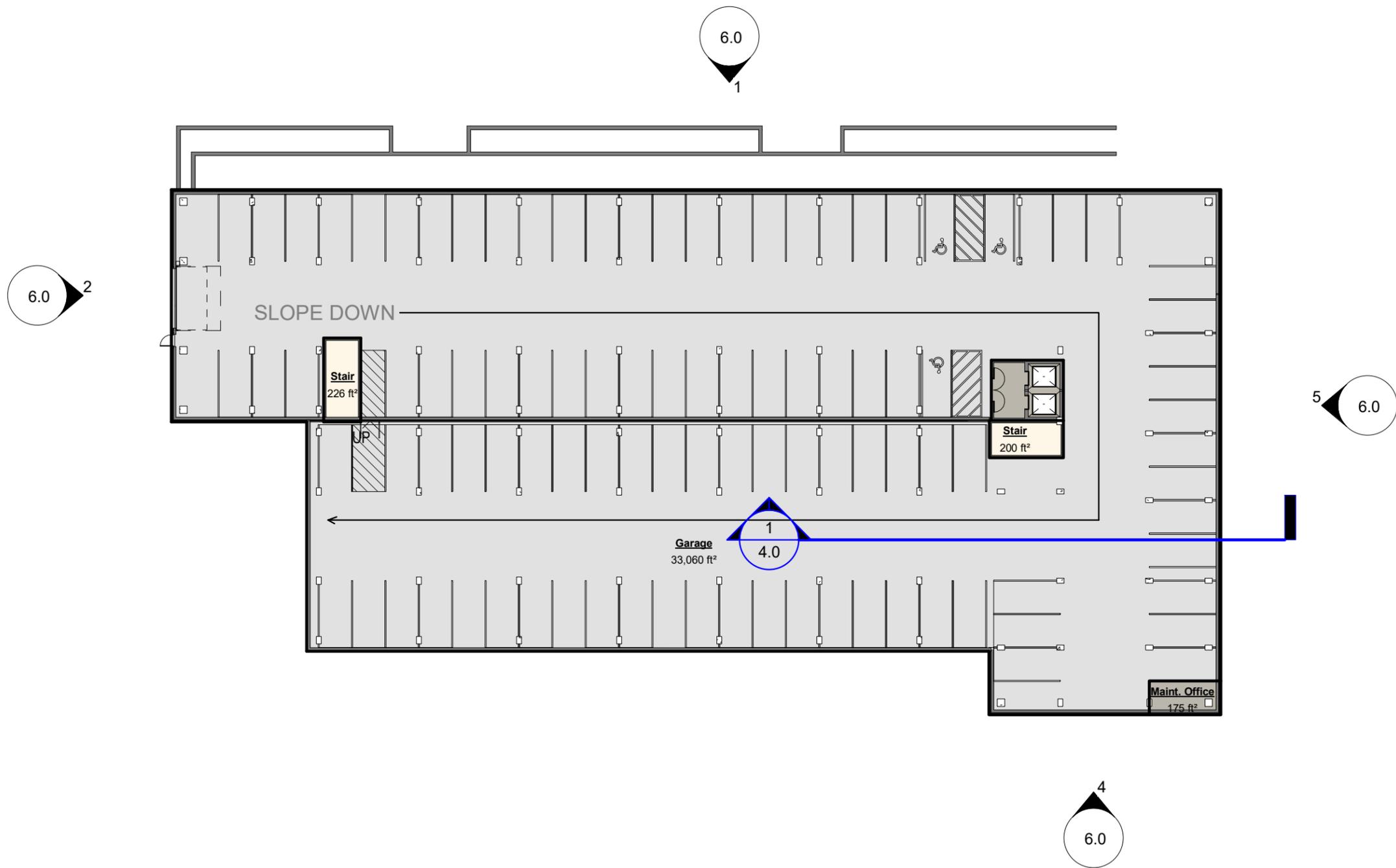
472 - 71 Surface = 401 Stalls + 100 Ramp  
 = 501 Ramp

① Site Plan EXISTING  
 1" = 80'-0"

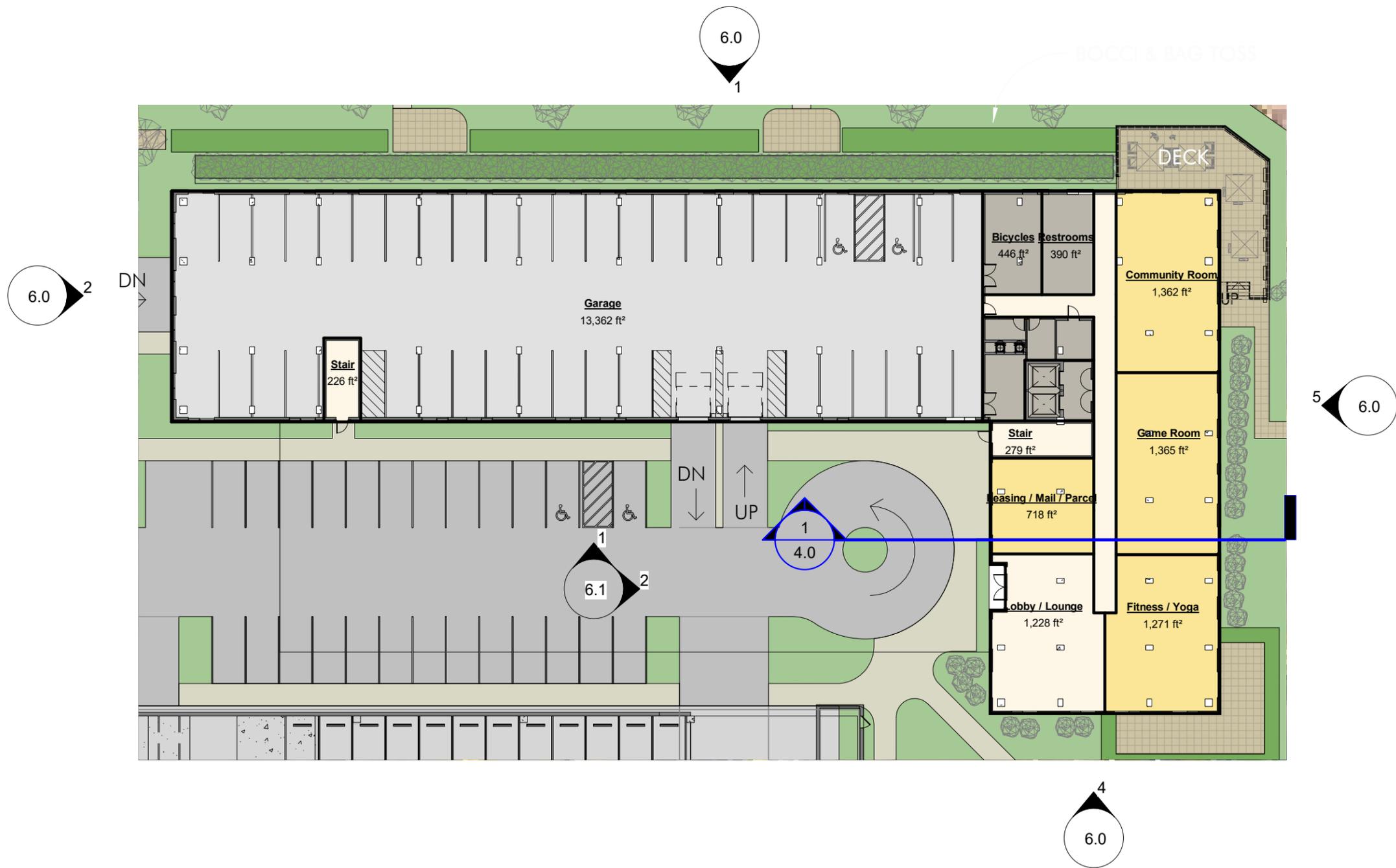


① SD SITE PLAN  
1" = 80'-0"

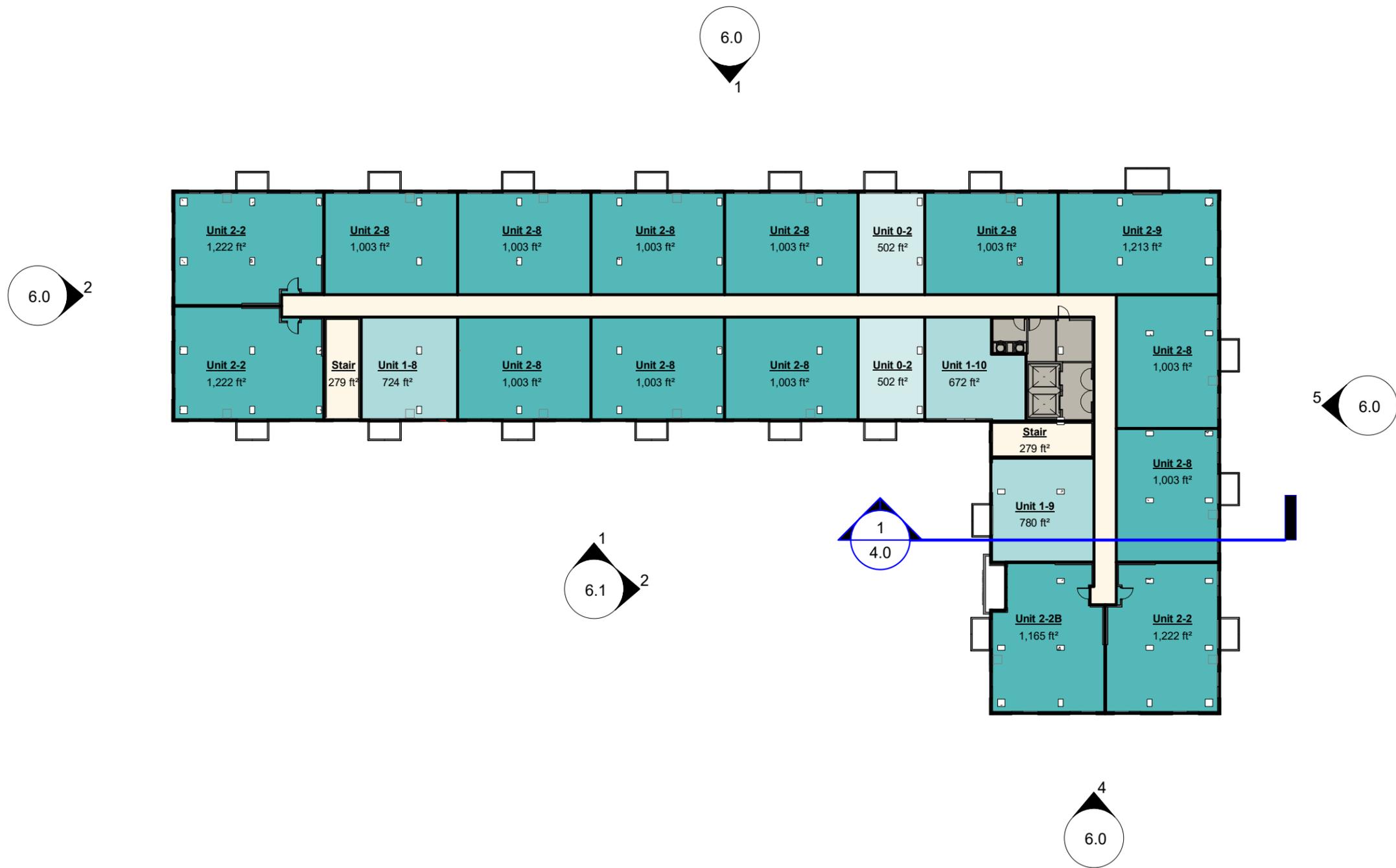




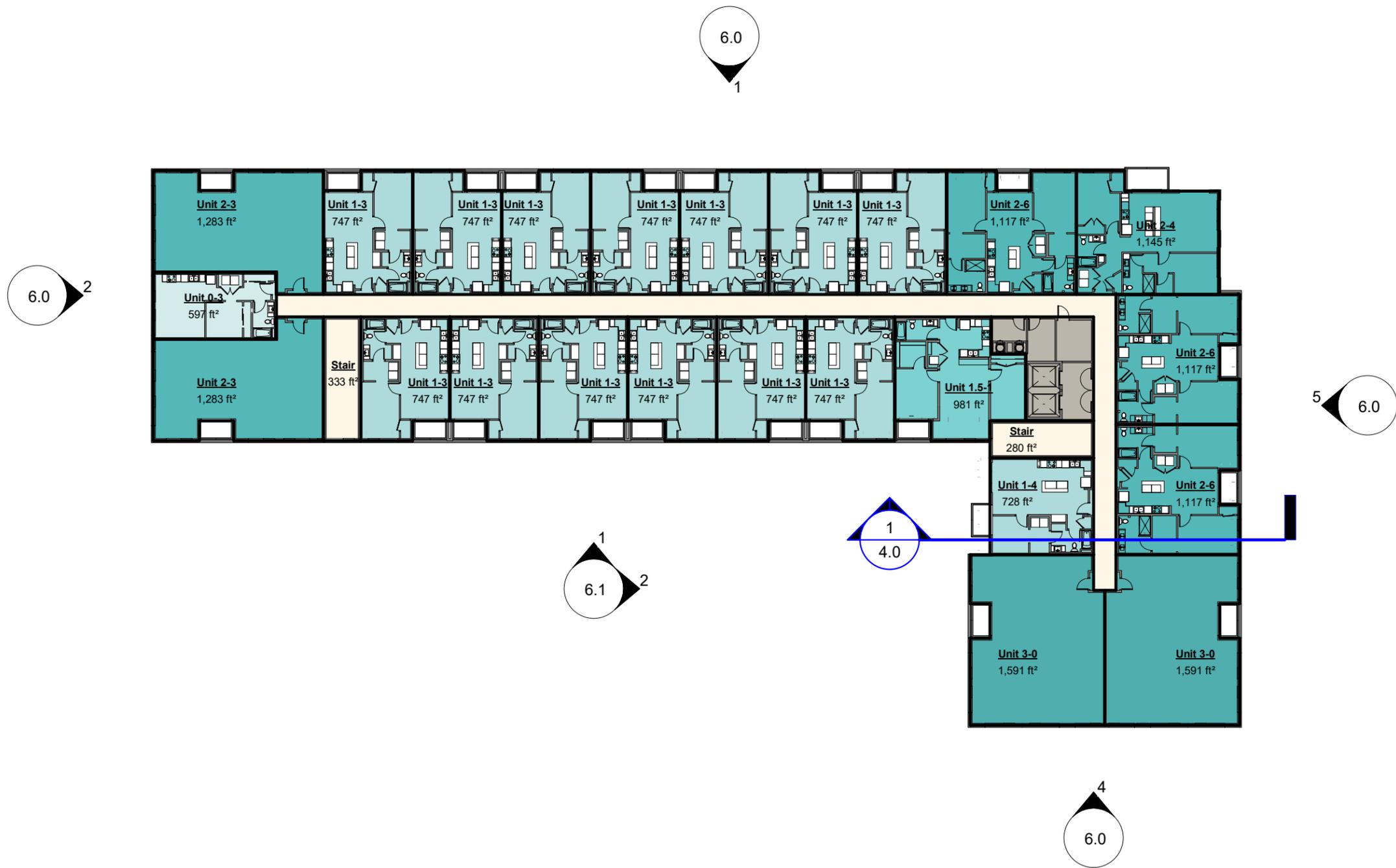
① Level -1  
1/32" = 1'-0"



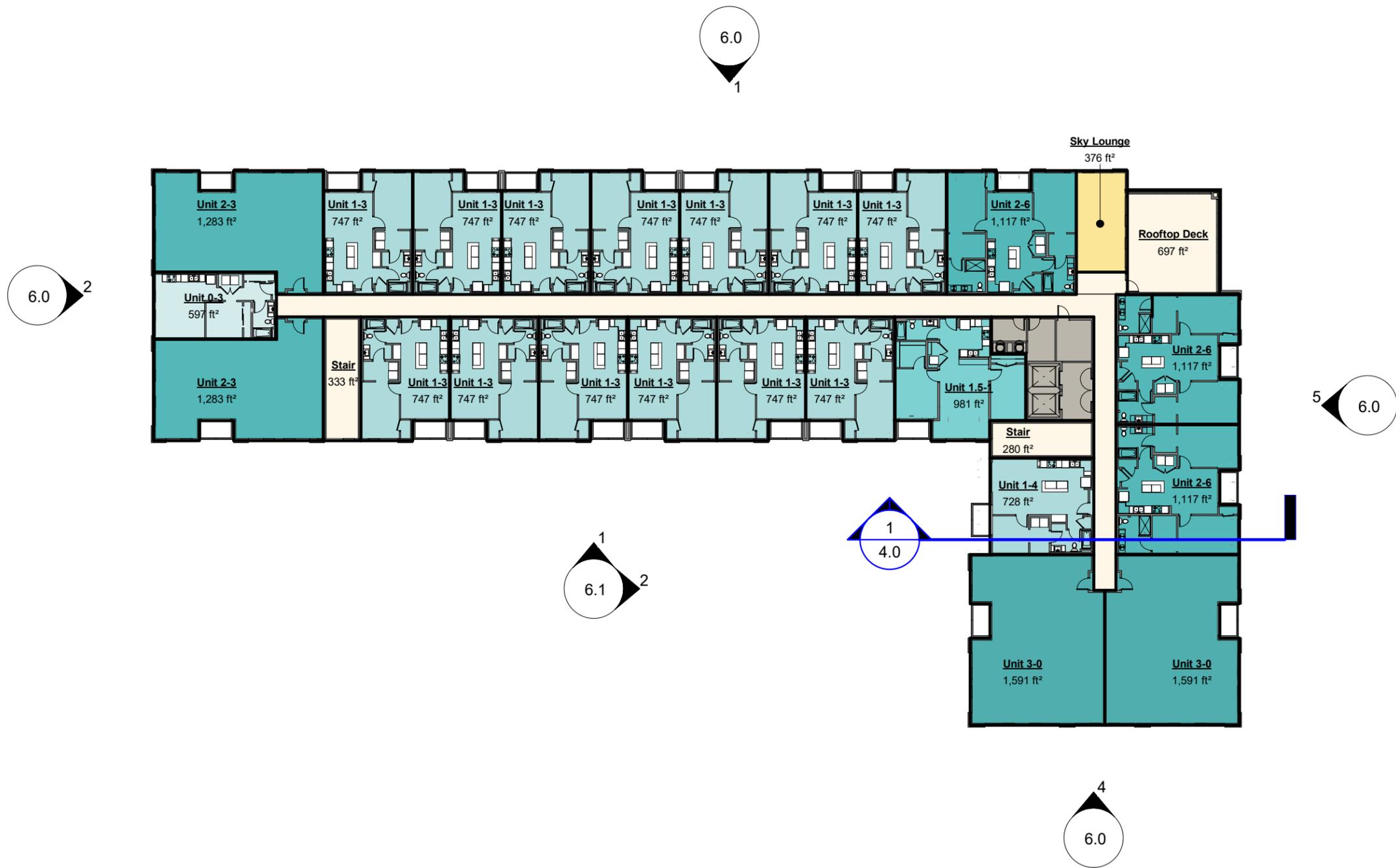
① Level 1  
1/32" = 1'-0"



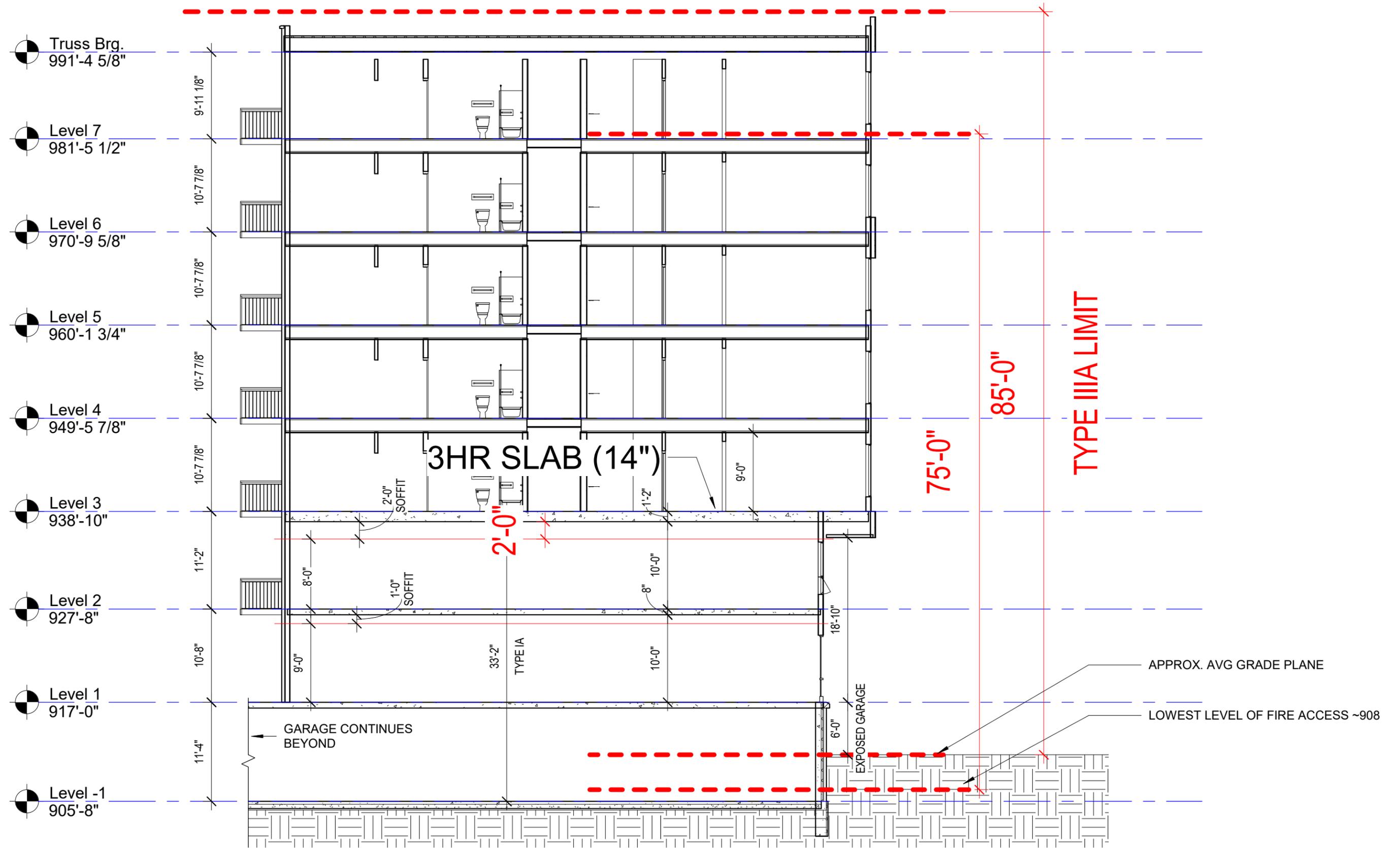
① Level 2  
 1/32" = 1'-0"



① Level 6  
1/32" = 1'-0"



① Level 7  
 1/32" = 1'-0"



1 Building Section Looking North  
 3/32" = 1'-0"



CONCEPTUAL RENDERING - NORTHEAST VIEW (BLAKE RD & LAKE ST)



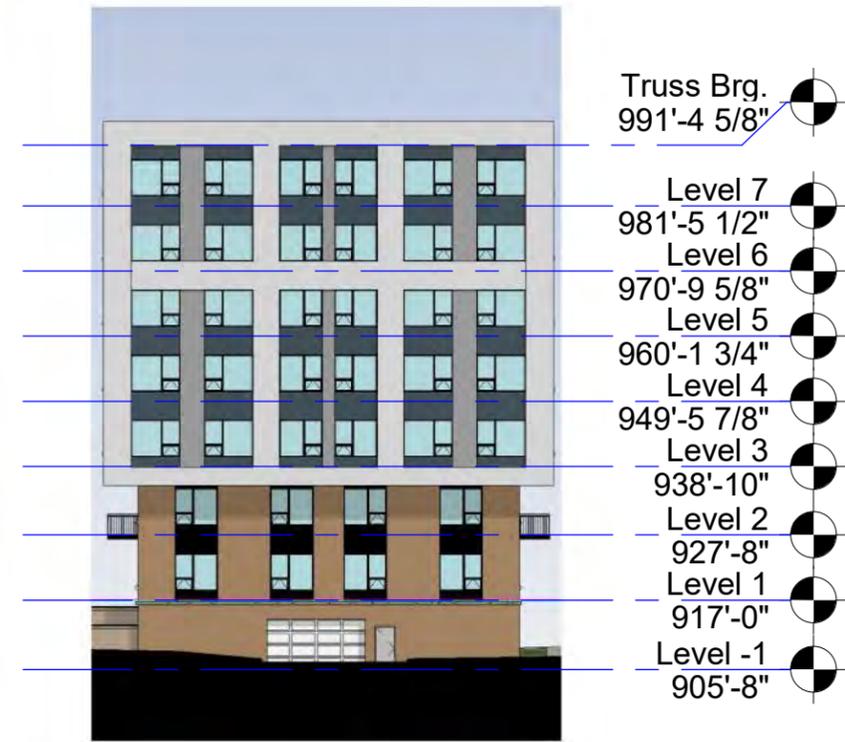
CONCEPTUAL RENDERING - EAST VIEW (BLAKE RD)



CONCEPTUAL RENDERING - NORTH VIEW (LAKE ST)



① NORTH ELEVATION  
1" = 30'-0"



② WEST ELEVATION 1  
1" = 30'-0"

**EXTERIOR MATERIAL PERCENTAGES**

**NORTH FACADE (LAKE ST)**

MAJOR MATERIALS (BRICK, CMU, STUCCO) = 68%  
MINOR MATERIALS (CFB, METAL PANEL) = 32%

**EAST FACADE (BLAKE RD)**

MAJOR MATERIALS (BRICK, CMU, STUCCO) = 73%  
MINOR MATERIALS (CFB, METAL PANEL) = 27%



④ SOUTH ELEVATION 2  
1" = 30'-0"



⑤ EAST ELEVATION  
1" = 30'-0"



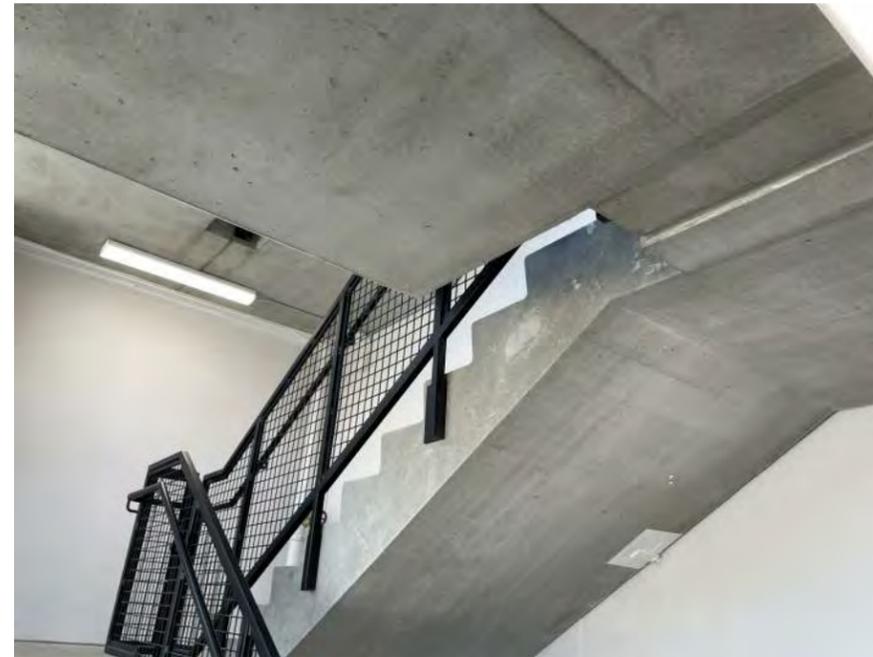
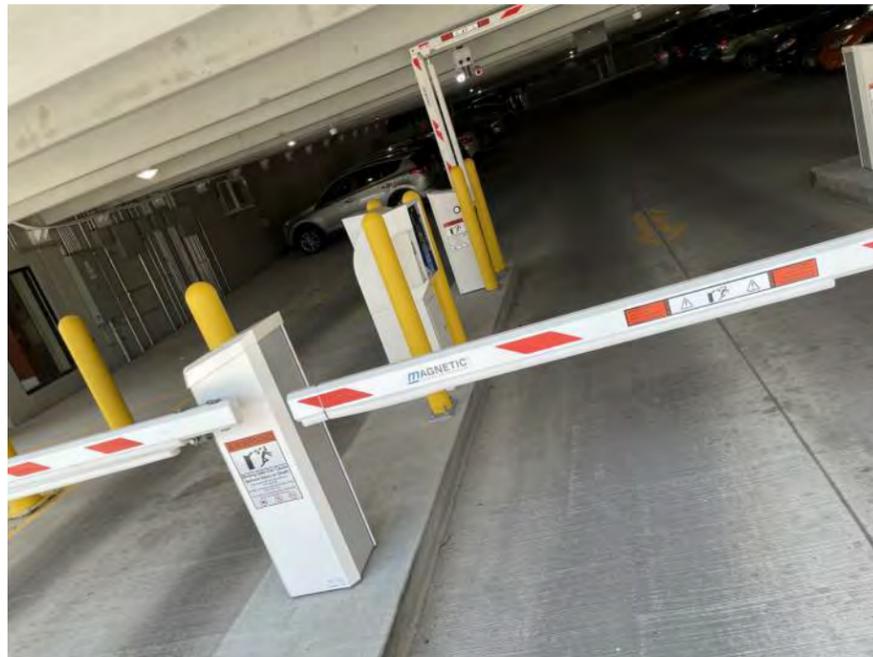
① SOUTH ELEVATION 1  
1" = 30'-0"



② WEST ELEVATION 2  
1" = 30'-0"



Taracon Precaster Ramp-Fargo -300 32nd Ave W, West Fargo, ND 58078 is a carbon copy of what KWA Recommends in Hopkins



**From:** [Steve Steinman](#)  
**To:** [Ryan Krzos](#)  
**Cc:** [Jan Youngquist](#); [Mike Mornson](#)  
**Subject:** [EXTERNAL] Meeting tomorrow night..proposed development ...Knollwood Towers West, East  
**Date:** Thursday, October 20, 2022 2:05:24 AM

---

I understand there is a meeting tomorrow night regarding a proposed development. If someone can not attend will there be a way to watch it at a later date? It is at Cambridge Towers if I am correct.

This email is to make clear that I feel there is a problem with the current management company.

I want to make sure you are aware of the History of the Management company that is now Managing the two properties, Knollwood Towers West and East. They have had shootings in both buildings since they have been the owners. They are very difficult to deal with and often do not return calls or emails examples of what have taken place are:

Water on the floor from the laundry room to the hall yesterday.

Carpets that are dirty on many of the floors.

Smoke smell in the building that is non smoking, smoke smell even in the hall next to the office during business hours.

False advertising, maybe not illegal but they sign letters with we are here to help..not my experience..can't often get a hold of them.

Last week the lobby was full of tenants who had received letters on their doors. I saw a couple of the letters, ( I believe all were but

I did not see them all) letters of intent to evict. Some of the tenants told me they were sure it was a mistake and at least one I know for sure was not correct.

Some people waited for hours to see the office. I do not know if what they did was illegal but it was disgusting to handle the situation the way they did.

I hope someone from the city can ask people about this if someone from the city is at the meeting.

They charge now for garbage but refuse to lock the garbage room door so anyone can just leave what they want in there and we all get charged.

There has been a problem with how they bill us for the Utilities, incorrect bills hoping it will get straightened out but not seen it yet. No breakdown on how they come up with the bills and I think it seems unfair, but maybe not illegal..not sure..the billing is vague and not detailed.

The building is not secure, people have been seen entering through the garbage room for some time now. It has been left wide open in the last week several times.

I have been told by others that it used to have a lock on it. I never saw it left open till this management company took over. The East building requires the trash company to use a key to get in already, yet the management company has not been able to figure out a way to simply put a lock on the door and give the trash company a key. No formal communication has been sent to us regarding anything they are doing about the door. This door has not been lockable for some time now.

I smelled paint in the stairwell in the last week, .not sure why.....people entering the building

and getting high?

People knock on doors and attempt to open door making me think they are possibly not from this building.

Packages are stolen and opened, the management says its not just here, but they do nothing to help...no closet or room...just in the open for everyone to see.

Smoke alarms are beeping on more then one floor in the West building....they had a major fire in the West building this year...some balconies are just full of junk.

There is more but I think you can understand that there is a problem here.

I hope if the management company makes any promises or says they will be doing something the city takes into account the history of the buildings since they took over. They hired security that is here, I am not sure when, and the place is still scary. I do not feel safe, and having doors propped open just makes it worse.

Also, the management company does not provide upper level contacts, it is very difficult to reach anyone above the building office so the office can do what it wants.

Thank you, To be transparent my name is not Steve but I do live in Knollwood Towers West. I am afraid to use my real name, the management company has convinced me they are not here for us.

Tommorrow evening is a great time for someone to hear first hand what the experience of living in Knollwood Towers East and West is like.

Thank you,

## Meeting Minutes from 10/20/2022 - Neighborhood Meeting regarding Knollwood Towers

Comments/Questions raised by residents

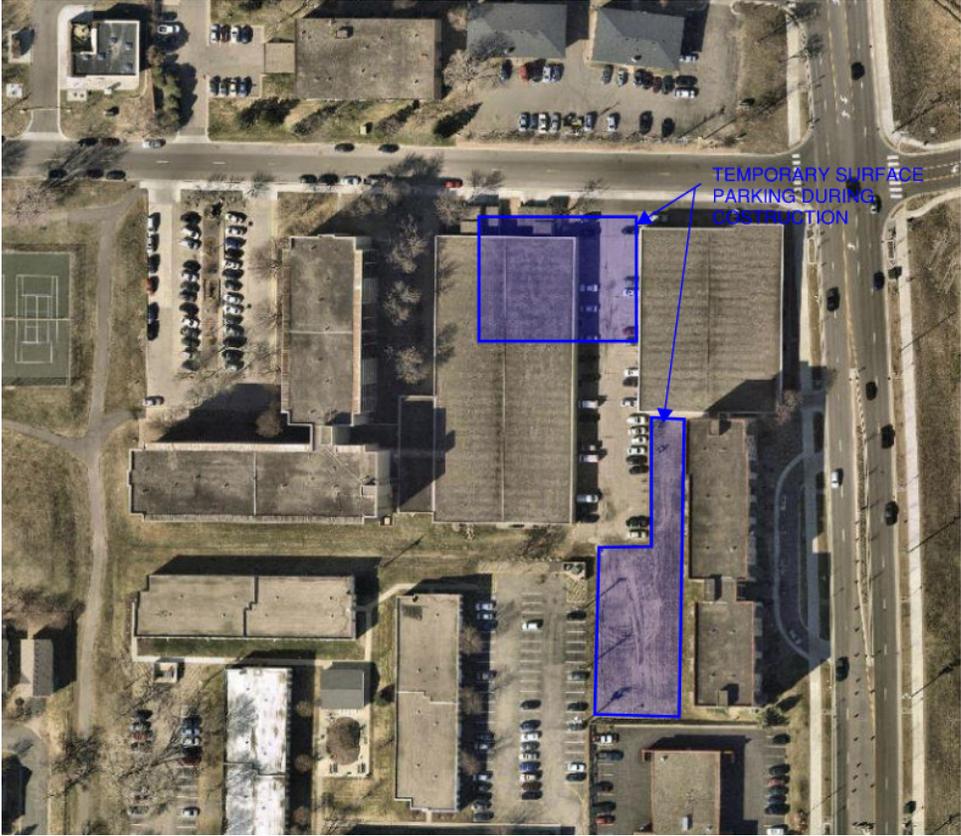
Responses from KWA or IPG Living

Notes Authored by KaasWilson Architects

Attendees:

- 25 Residents
- 4 Representatives from IPG
- 3 Representatives from KaasWilson Architects
  
- Will the proposed parking structure be enclosed or exposed?
  - Exposed but with security & access control.
- How long will residents be without parking?
  - Estimated to take about 6 months from the start of demolition to construction completion.
  - Phased construction schedule will be in place:
    - Existing west ramp to be demolished in April 2023 followed with construction of new ramp
    - New ramp to be completed around September 2023
    - Demolition of east ramp and construction start on Knollwood North to follow (Late 2023 or early 2024)
- Concern was raised for residents with wheelchairs and other disabilities
  - ADA requirements will be met in the proposed parking ramp
  - Will there be assigned stalls?
- Will there be assigned stalls?
  - Yes, management is going to work with the residents through logistics.
- Can the new ramp be connected to the existing west and east apartments?
  - KWA and IPG Living to look into this as there are some code limitations.
- Is there a trash room in the proposed ramp?
  - There will be room allocated in the design for maintenance and trash/recycling.
- Will the current residents' rent increase due to the new construction?
  - Knollwood north will be treated as luxury apartments - existing west and east towers won't be affected. They will be compared to other buildings within their specific market and building type.
  - Updates are and will be happening to improve the existing buildings
- Will the laundry be demolished or removed from the existing building?
  - Amenities won't be removed, but may need to be temporarily relocated during the construction process. None of the current amenities will be taken away.
- There was an expressed need for maintenance workers - will there be more hired?
  - IPG Living is actively searching but it's a tough position to fill. More information to follow.
- Blake Rd/Lake St intersection traffic and parking concerns.
  - The city will likely address this and run their own data. IPG Living will raise the question to the city if needed.

- Security cameras?
  - Both the new parking structure and apartment building will have security cameras installed. Locations TBD and worked through as the project progresses.
  - Lobby, Mail room, heavily trafficked areas were discussed as the primary concerns at east and west towers.
  - It was noted that this is very preliminary - as it gets closer there will be accommodations met with plenty of communication and notice to the residents.
- Code Compliance
  - There were questions raised about bringing east and west towers up to code. KWA explained that the existing buildings are grandfathered in with the old codes and since no construction is being done in the existing towers, the existing units will not be required to be brought up to codes at this time.
  - IPG explained that garage construction is priority at this time due to structural concerns with existing ramps. But plans are in place for future upgrades at existing resident towers.
- Will storage be provided in the new ramp?
  - KWA explained that design is still in progress, and there will be other storage rooms possibly available for resident storage. Individual stall storage will be looked into as part of plans.
- Can we stay in our units while construction is taking place?
  - Yes. Existing towers will remain and will not be demolished. Only existing parking ramps are being demolished.
- Potential temporary parking during construction (NOT DISCUSSED AT THE MEETING)



TEMPORARY SURFACE  
PARKING DURING  
CONSTRUCTION

## ZONING REVIEW: KNOLLWOOD TOWERS NORTH INFILL DEVELOPMENT

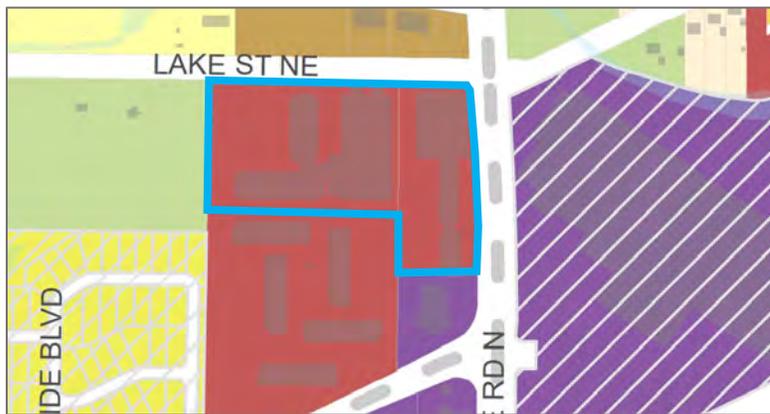
**Review Date:** October 25, 2022

### PROJECT DESCRIPTION:

Infill development of a lot containing multiple existing structures: Two residential apartment buildings two parking structures. Development of a new L-shaped mixed-use building with basement and first level parking, interior common amenity spaces, and 139 apartments.

<b>BASE ZONE:</b>	RX-TOD	<b>PROPOSED USE:</b>	Multi Family
<b>BUILDING TYPES ALLOWED:</b>	General Building, Row Building	<b>COMPREHENSIVE PLAN DESIGNATION:</b>	Activity Center
<b>BUILDING TYPE SELECTED:</b>	General Building	<b>EXISTING USE:</b>	Multi-Family, Parking Garage
<b>LARGE PUD REQUIRED?</b>	Yes/No	<b>DEADLINE FOR ACTION</b>	N/A

### ZONING MAP



Review Key	
✓	Meets or exceeds regulation
N/A	Regulation does not apply
✗	Does not meet regulation
Cond.	Met per conditions
?	More Information Needed
PUD	PUD/Variance Deviation

### ARTICLE 3 MIXED-USE ZONES

Section of Code	Regulation	REVIEW NOTES
<b>102-350 REGULATIONS APPLICABLE TO ALL BUILDING TYPES</b>		
✓	102-350(a) PERMANENT STRUCTURES	Proposed structures are permanent.
PUD	102-350(b) ONE BUILDING PER LOT	Concept shows there may be more than one principal building per lot, which would be require a Large-scale PUD.
✓	102-350(c) TREATMENT OF YARDS	Surface parking is to rear of building per building type regulations Street yard areas appear to be planned for people and landscaping.
?	102-350(d) TRASH, RECYCLING, REFUSE LOCATIONS	Location of utilitarian items to be identified as plans are refined
✓	102-350(e) FRONT STREETS	<b>Blake Road</b> is the designated front street abutting this lot.
?	102-350(f) MINIMUM PEDESTRIAN AREA	There appears to be +/- 8 ft between the curb and the lot line on the Lake St NE side. <b>Four feet</b> of additional streetscape space need to be provided, and <b>setbacks are to be measured from 12 ft of the back of the curb.</b>

## 102-380 GENERAL BUILDING TYPE REGULATIONS (RX-TOD Zone)

	Section of Code	Regulation	REVIEW NOTES
<b>102-380(d) BUILDING LOCATION</b>			
<b>PUD</b>	120-380(d)	MULTIPLE PRINCIPAL BUILDINGS	Allowed; Given Size of Project a PUD would be required if within one parcel.
<b>?</b>	120-380(d)	FRONT STREETWALL	80% min.; Additional information on the lot line configuration is needed.
<b>✘</b>	120-380(d)	<b>FRONT STREET SETBACK</b>	7.5 ft. min, 15 ft. max.; Proposed building is setback <b>20-24 ft</b> from the Blake Road Property line
<b>?</b>	120-380(d)	NON-FRONT STREET SETBACK	(Lake Street Side) 5 ft. min., 15 ft. max; Additional information on the location of the curb line in relation to the building is needed.
<b>?</b>	120-380(d)	SIDE SETBACK	5 ft. min. Additional information on the lot line configuration is needed.
<b>✓</b>	120-380(d)	REAR SETBACK	20 ft. min.
<b>?</b>	120-380(d)	IMPERVIOUS SITE COVERAGE	<b>80% max.</b> Additional information on the lot line configuration is needed.
<b>?</b>	120-380(d)	ADDITIONAL SEMI-PERVIOUS COVERAGE	+15% - In addition to the 80% hardcover, 15% of the site may be semi-pervious, i.e. green roof, porous pavement, etc.
<b>102-380(e) PARKING &amp; ACCESSORY STRUCTURES</b>			
<b>✓</b>	120-380(e)	PARKING & DRIVEWAY ACCESS LOCATION	Required off alley or non-front street; proposed driveway off of Lake St NE.
<b>✘</b>			Depicted driveway width (+/- 24 ft.) would exceed 22 ft maximum
<b>?</b>	120-380(e)	DRIVEWAY SIZE & NUMBER	Max. 1 access per development per street. One new access is proposed. Compliance depends on how/if the property is divided.
<b>✓</b>	120-380(e)	ATTACHED GARAGE SETBACK	Required 20 ft. min. behind front facade in rear of building; First floor structured parking is positioned <b>~64 ft</b> to the rear of the Blake Road front façade.
<b>✓</b>	120-380(e)	ATTACHED GARAGE DOOR LOCATION	Proposed on <b>interior side</b> as is required
<b>✓</b>	120-380(e)	SURFACE PARKING	Proposed in <b>Rear Yard</b> as is required.
<b>✓</b>	120-380(e)	ACCESSORY STRUCTURES	<b>Parking Structure</b> is allowed and is proposed
<b>120-380 (f) HEIGHT</b>			
<b>✓</b>	120-380(f)	HEIGHT	2 stories min, 10 stories max; <b>Seven (7) Stories</b> proposed
<b>✓</b>	120-380(f)	ALL STORIES HEIGHT	9 ft. min., 14 ft. max.; All stories shown as between <b>9 ft and 11 ft in height</b>
<b>120-380 (g) ROOFS</b>			
<b>✓</b>	120-380(g)	ROOF TYPES	Flat, parapet, pitched allowed; appears to be proposed as <b>parapet</b>
<b>✓</b>	120-380(g)	TOWER	Allowed, none proposed
<b>120-380 (h) STREET FACADES</b>			
<b>?</b>	120-380(h)	TRANSPARENCY: FRONT FACADES	20% min; <b>Transparency not quantified.</b>
<b>?</b>	120-380(h)	TRANSPARENCY: NON-FRONT FACADES	18% min; <b>Transparency not quantified.</b>
<b>✘</b>	120-380(h)	<b>BUILDING ENTRANCES LOCATION</b>	One per every 120 ft. on front façade; <b>Blake Street side requires a minimum of one entrance.</b>
<b>✘</b>	120-380(h)	ENTRANCE TRANSITION TYPE	A <b>Stoop</b> entrance type is Required. See 102-730 (c)

?	120-380(h)	GROUND STORY ELEVATION	Between 18 in. and 30 in. above grade or between 30 in. and 4 ft. with a visible basement, except in floodplain locations.
✓	120-380(h)	HORIZONTAL DIVISIONS WITH SHADOW LINES	Horizontal shadow lines to run a min. 80% of length of facade. One division is required within 3 ft. of the top of any story between the basement and 3rd
✗	120-380(h)	<b>VERTICAL DIVISIONS WITH SHADOW LINES</b>	One vertical division is required per every 120 ft. of street façade. <b>Two vertical divisions are needed along Lake Street Façade, only one provided.</b>
<b>102-380 (i) SUPPLEMENTAL GENERAL BUILDING REGULATIONS</b>			
✓			No street facing courtyard proposed
✗	120-380(i)(1)	FRONT STREETWALL EXCEPTIONS	Maximum setback may be expanded up to 20 feet for a maximum of 20% of the facade to allow for permanent outdoor seating or outdoor dining area; more than 20% of the façade exceeds the Blake Road maximum setback.
N/A	120-380(i)(2)	THROUGH-LOTS	Subject site is not a through lot.
N/A	120-380(i)(3)	STORY SETBACKS AT N OR NX	N/A. No N or NX zoned property abuts the site.
N/A	120-380(i)(4)	VISIBLE BASEMENTS	For basement levels located more than 3 ft. above grade, street facades must meet the transparency regulations.
N/A	120-380(i)(5)	ADDITIONAL STORY HEIGHT (IX-TOD & IX-S)	N/A. Site is not zoned IX.

## ARTICLE 7 BUILDING DESIGN

	Section of Code	Regulation	REVIEW NOTES
<b>102-720 (c) PARAPET ROOF TYPE</b>			
?			Minimum height is 1.5 feet with a maximum height of 6 feet
✗	102-720(c)(1)	<b>PARAPET HEIGHT</b>	A shadow line must be located within 2 feet of the top of the uppermost story.
✗			A shadow line must be located at the top of the parapet.  See 102-16210 for definition of shadow line
✓	102-720(c)(2)	OCCUPIED BUILDING SPACE	No portion of the parapet appears to include occupied building space.
?	102-720(c)(3)	ROOFTOP APPURTENANCES	Any rooftop appurtenances must be located towards the rear or interior of the parapet roof. Rooftop appurtenances should be located such that the parapet blocks their view from the sidewalk across the street. <b>No rooftop equipment depicted.</b>
<b>102-730 (c) STOOP ENTRANCE TYPE</b>			
?	102-730(c)(1)	STOOP SIZE	A stoop is a small, open platform that may include a canopy or roof cantilevered off the building and may or may not be elevated above the sidewalk. Stoops must be a minimum of 4 feet wide and 3 feet deep
?	102-730(c)(2)	RAMPS	Where feasible, ramps should be incorporated at the principal building entrance and designed as an integrated part of the stoop, with rails matching any provided on steps.
<b>102-740 FAÇADE MATERIALS</b>			
?	102-740(b)	MAJOR STREET FACADE MATERIALS	Allowed major façade materials, listed in Table 7-1 for General Building Type in the RX-TOD Zone: Full

			Dimension brick, architectural Concrete Masonry Units, Stone, 2-3 layer cement-based stucco.
?	102-740(b)(1)	<b>STREET AND OTHER FRONT FACADES</b>	Major materials must be applied to a minimum of 65% of all street or other front facades, not including window and door areas. Blake Rd (east) façade: <b>73%</b> as Brick, CMU, Stucco Lake St (north) façade: <b>68%</b> as Brick, CMU, Stucco <b>Proposed brick would have to be full brick and not veneer.</b> <b>Proposed stucco must be traditionally-applied stucco and not synthetic or EFIS</b>
?	102-740(b)(2)	<b>SIMPLICITY OF FACADE MATERIALS</b>	A single major façade material must be used for each building façade segment, 60-foot or larger. <b>Significant portions of both the Blake Road and Lake Street facades use multiple major materials</b> – not clear if any single material would be at least 65% like it is with majority brick on the Lake/Blake corner.
?	102-740(b)(4)	<b>SIDE AND REAR FACADES</b>	When side yards between two buildings are a total of 5 or more feet in width, major materials must be applied along that side facade from the front of the building a distance equal to the width of the side yard, as measured perpendicularly between the two side facades. <b>Major materials are indicated as proposed from the two side, but would need to meet simplicity rules above.</b>
N/A	102-740(b)(5)	<b>ORIGINAL FAÇADE MATERIALS</b>	Applicable to modifications of existing buildings with brick or stone facades. <b>N/A.</b>
✓	102-740(c)	<b>MINOR STREET FACADE MATERIALS</b>	A maximum of 35% of each street or other front façade surface, not including window and door areas, may be composed of minor facade materials. Blake Rd (east) façade: <b>27%</b> as Fiber Cement, Metal Panel Lake St (north) façade: <b>32%</b> as Fiber Cement, Metal Panel
✓	102-740(d)	<b>SIDE &amp; REAR FACADE MATERIALS</b>	All interior side and rear (non-street) facades not located on a rail or trail line must be faced in a major facade material, a minor facade material, or a material as allowed in Table 7-3. <b>Same material palette used on side and rear as the street facades.</b>
?	102-740(f)	<b>APPROPRIATE GRADE OF MATERIALS</b>	All doors, windows, and hardware must be of commercial grade quality.
?	102-740(g)(1)	<b>CHANGES IN FACADE MATERIALS</b>	Changes in façade materials, whether major materials or minor materials, should occur mainly at concave corners or changes in facade planes.
✓	102-740(g)(2)	<b>MATERIALS HIERARCHY</b>	A hierarchy of materials must be maintained on the building facade, where "heavier", articulated unit materials (brick, concrete masonry units, stone) are located at the base of the facade and "lighter", constant surface materials with fewer seams (stucco, panels) are located above those on the facade.
✓	102-740(g)(3)	<b>SHADOW LINES ON SURFACES</b>	Shadow lines must delineate changes in materials with solid materials of a thickness that is greater than 1.5 inches, such as cast stone, masonry, or stone
<b>102-750 FACADE ELEMENTS</b>			
?	102-750 (b)	<b>WINDOWS</b>	All windows, with the exception of ground story storefront systems and glass curtain wall systems, shall be recessed with the glass a minimum of 2 inches from the facade surface material or adjacent trim. <b>This level of detail not provided</b> , but appears to be met.

✓			A minimum of 70% of street façade windows must be vertically oriented. <b>All windows appear vertically oriented</b>
?			Reflective glass and glass block are prohibited on street and other front facades. <b>Assume reflective glass is not used</b>
?			A minimum of 70% of all street facade upper story windows must be operable. Ground story storefront glass and glass curtain wall systems are not required to be operable. <b>This level of detail not provided.</b>
✗			For masonry construction, the expression of lintels must be included above all windows and doors by a change in brick coursing or by a separate detail or element. <b>No lintels depicted at windows and door in the brick areas.</b>
?	102-750(c)	AWNINGS & CANOPIES	No awning or canopies shown
?			Balconies must be a minimum of 4 feet deep and 5 feet wide.
✗	102-750(d)	BALCONIES	A minimum of 50 percent of the perimeter of each balcony must abut an exterior wall of the building, partially enclosing the balcony. <b>Second Story balconies</b> do not appear to meet this standard.
N/A	102-750(e)	SHUTTERS	Any shutters must meet size and material requirements. <b>No shutters depicted</b>
N/A	102-750(f)	SECURITY GRILLS & BARS	Exterior security bars and grills are prohibited. Interior grills must be retractable and hidden when retracted. <b>None shown</b>
?	102-750(g)	<b>PRINCIPAL ENTRYWAY</b>	Principal entrances to the building must be clearly delineated through one or more design features in Section 102-750(g)
N/A	102-750(h)	ARCADE DESIGN	No Arcade proposed
?	102-750(i)(2)	GROUND STORY AT SLOPING FACADES FOR NON-STOREFRONTS	Retaining walls shall not exceed 30 inches in height except along a maximum 8-foot section of frontage. <b>Additional information on retaining walls needed.</b>
✗	102-750(j)	<b>BUILDING VARIETY</b>	buildings 90 feet in length or greater, as measured along any street or front facade, must treat that frontage in segments of 50 feet or less with the building variety standards in 102-750 (j)(3). <b>Both the Blake Road and Lake Street side exceed 90 ft.</b>
✓	102-750(k)	ARTICULATION OF STORIES	Window placement on street facades must be organized by stories per the transparency regulations. <b>Windows are arranged by floor.</b>
N/A	102-750(l)	VISTAS	Shadow lines can be used to delineate stories. Vistas (an open space or a street terminating) are not present at this site.
✓	102-750(m)	GARAGE DOORS	Requirements are applicable to garage doors included on any street facade. <b>Garage doors proposed on non-street facades.</b>
<b>102-760 UTILITY EQUIPMENT</b>			
?	102-760(b)	MECHANICAL EQUIPMENT IN BUILDING	Mechanical equipment shall be located within the building, unless the applicant demonstrates that locating the equipment within the building would conflict with the equipment's function.

?	102-760(c)	ROOFTOP MECHANICAL EQUIPMENT	Any rooftop mechanical equipment is to be screened or setback
?	102-760(d)	MECHANICAL EQUIPMENT ON STREET FACADES	Mechanical equipment and utility appurtenances shall not be located on a street facade unless the applicant demonstrates that locating the equipment in a different location would conflict with the equipment's function. Any equipment or appurtenance approved on a facade shall be located consistent with the standards of this section.
?	102-760(e)	MECHANICAL EQUIPMENT ON OTHER HORIZONTAL FACADES	Mechanical equipment, such as electrical transformers and air conditioners, located on the ground, decks, or horizontal surfaces other than the roof shall be located consistent with the standards of this section.

## ARTICLE 8 LANDSCAPE & SITE DESIGN

	Section of Code	Regulation	REVIEW NOTES
?	102-810(b)	VISIBILITY AT INTERSECTIONS	A 30 ft by 30 ft vision triangle, free from walls, fences, plants, or trees in excess of 30 inches above the abutting curb line shall be provided.
?	102-820	LANDSCAPE INSTALLATION	Notes to follow the specified landscape installation regulations required on submittal drawings.
?	102-830	LANDSCAPE MAINTENANCE	The owner is responsible for the maintenance, repair, and replacement of all landscaping required by code
?	102-840	EXISTING TREES	A survey of existing trees on the site is required. Significant and contributing trees Tree protection is required
?	102-850	GROUND VEGETATION	All unpaved areas of any lot in any other zone must be covered by planting bed per 102-850 (b) or grass per 102-850 (c) or a combination of planting bed and grass.
?	102-860	SITE TREES	One medium or large tree is required per 3000 square feet of yard area.
?	102-870	STREETSCAPE DESIGN	The requirements of this section apply to development of new streets and development on all lots with 200 feet or more of street frontage on existing streets or the City may assess a fee-in-lieu of streetscape for deposit in the city's streetscape fund.
?	102-880	STREET SIDEWALKS	Sidewalks or multi-use paths must be provided along all street frontages, located within the public right-of-way.
?	102-890	INTERNAL SITE SIDEWALKS	Sidewalks must connect between all building entrances to all public sidewalks, including at least one connection to each street-frontage sidewalk abutting the site
?	102-8100	STREET TREES	Each lot is required to have one tree for every 40 feet of street frontage with a minimum of one street tree per street frontage, and must be located between the curb and sidewalk, a minimum of 2 feet and a maximum of 10 feet off the back of curb
?	102-8110	FRONTAGE BUFFERS	A frontage buffer is required when on-site vehicular parking, loading, outdoor storage, and/or other activities abut the street
N/A	102-8120	SIDE & REAR BUFFERS	A side and rear buffer is required along the side and rear lot lines where transitions between certain zones occur
?	102-8130	INTERIOR PARKING LOT LANDSCAPE	All off-street surface parking lots with more than 10 spaces and/or more than one drive aisle must meet the interior parking lot landscape regulations.
?	102-8140	SCREENING OF REFUSE & UTILITY AREAS	All dumpsters, loading areas, open storage, refuse areas, mechanical equipment, and utility appurtenances must be screened

?	102-8150	OUTDOOR LIGHTING	No lighting found in drawings.
<b>ARTICLE 9 PARKING &amp; MOBILITY</b>			
	<b>Section of Code</b>	<b>Regulation</b>	<b>REVIEW NOTES</b>
✓	102-920	OFF-STREET PARKING – MOTOR VEHICULAR MINIMUMS & MAXIMUMS	Minimum for Multi-family: 1.2 enclosed stalls per unit No Maximum. <b>1.26 stalls per unit provided.</b> Proposed parking would be shared with two existing buildings. 316 Total new and existing unit. 573 Stalls provided (Surface Stalls: 71, Ramp Stalls: 365, Apartment Garage Stalls: 137)
?	102-920	OFF-STREET PARKING – BICYCLE MINIMUMS	Minimum for Multi-family: 1.1 stalls per unit. With 90% as long-term. This would apply to the new units as the existing units pre-date the requirement.
N/A	102-940	PARKING REDUCTIONS & CREDITS	Applicant can pursue a reduction per with provision of affordable units or Alternative Compliance per Section 102-940 (i).
N/A	102-950	LOCATION OF OFF-STREET PARKING	Except as otherwise expressly stated in this article, required off-street parking areas must be located on the same lot as the building or use they are required to serve.
✓	102-960	PARKING AREA LAYOUT & DESIGN	Parking areas must be designed to allow vehicles to enter and exit a street and cross public sidewalks in a forward motion
?			Parking stalls must be standard or compact
			Proposal includes residential off-street parking areas with 50 or More Parking Spaces.
?	102-970	ELECTRIC VEHICLE SUPPLY EQUIPMENT	One Level 2 electric vehicle charging station plus at least one Level 1 or Level 2 electric vehicle charging station for a minimum of <b>10% of provided parking spaces</b> . At least one of the electric vehicle charging stations provided must be accessible to a vehicle parked in an accessible parking space.  <b>An Additional 10% of the spaces must be EV-ready.</b>
			Short-term bicycle parking must be located on the subject lot, unless the city approves a proposal to allow private bicycle parking facilities to be located in the right-of-way.  Long-term bicycle parking spaces must:
?	102-990	BICYCLE PARKING	<ul style="list-style-type: none"> <li>– Be located with direct access by the bicycle rider, with no more than 50% of the required spaces requiring the use of stairs or elevators;</li> <li>– May not be located in dwelling units or on dwelling unit balconies;</li> <li>– Must protect the entire bicycle, its components and accessories against theft and inclement weather, including wind-driven rain and snow.</li> <li>– Must be designed to allow bicycles to be securely locked to a bicycle rack in: A bike storage room that is accessible only to authorized users and has at least 2 electrical outlets; or a bicycle locker with a separate access door for each bike; or an attended bike storage room.</li> </ul>

## ARTICLE 6 ACCESSORY USES AND STRUCTURES (PARKING STRUCTURE)

Section of Code	Regulation	REVIEW NOTES
<b>102-690 PARKING STRUCTURES</b>		
✓	102-690(c) LOCATION	Accessory parking structures must be located in the rear yard and be screened from view of any primary street by the principal building. Parking structures on lots with multiple primary street frontages must be screened from view of all primary streets. <b>Generally, the new and existing buildings screen the structure from view.</b>
✓	102-690(d) ADDITIONAL REGULATIONS	<p>Parking structures may not be located closer to any street or interior side lot line than the principal structure. <b>Structure located to the rear of the primary buildings.</b></p> <p>The overall height of a parking structure must be at least one story lower than the tallest principal structure. <b>Five-story parking structure is proposed.</b></p>
<b>102-750 (n) PARKING STRUCTURE FACADES</b>		
?	02-750 (n) PARKING STRUCTURE FACADES	Parking structure facades visible from any street or abutting any pedestrianway or open space shall meet the following standards
?	102-750 (n)(1) MATERIALS	Major and minor material requirements shall be met on all street and other front facades. An additional permitted minor material is stained, finished concrete
?	102-750 (n)(2) RAMPS AND SLOPES	Ramps and slopes shall not be located on any front or street facades.
?	102-750 (n)(3) VERTICAL DIVISIONS	Vertical divisions extending the full height of the structure are required every 30 feet to deemphasize the horizontal decks. Divisions shall be a minimum of 2 feet in width with a minimum projection of 2 inches.
?	102-750 (n)(4) BLANK WALL LIMITATION	No rectangular area greater than 30 percent of any story's facade, as measured from floor to floor, and no horizontal segment of a story's facade greater than 15 feet in width may be solid wall without an opening.
?	102-750 (n)(5) ENTRY TOWER	A pedestrian entrance directly into the parking structure from the street is required to be separate from the vehicular entrance and directly accessed from the sidewalk. The pedestrian entrance must meet the principal entryway regulations in 102-750 (g). Stairwells must be located inside a tower with windows at a transparency rate of 65%.
?	102-750 (n)(6) CAP	The top story of the parking structure shall include a parapet or other roof type along the public way facades.
?	102-750 (n)(7) VEHICULAR ENTRANCES	Driveways shall be no wider than 22 feet and the entrance and exit should be split by a median. Access shall be located on a non-front street, unless the lot does not abut a non-front street. No more than 2 access points shall be located on any one street, totaling no more than 24 feet of drives crossing sidewalk



**102 & 106 – 11<sup>th</sup> Avenue South  
Concept Plan Review**

**Proposed Action:**

As a concept review, this application does not require formal action by the Planning & Zoning Commission or City Council. Rather, the applicant requests feedback on the proposals so they can work toward preparing a future, formal submittal. Any comments provided by the City Council or Planning & Zoning Commission shall be for guidance only and shall not be considered binding upon the City regarding any future, formal application.

**Overview**

The applicant, Sachin Chauhan, requests concept plan review for redevelopment of the property at 102 & 106 – 11<sup>th</sup> Avenue South. The subject property is located at the southwest corner of 11<sup>th</sup> Avenue South and 1<sup>st</sup> Street South. The applicant’s plans call for a five-story, 36-unit building. The proposed building would be constructed in the location of two existing residential buildings. The site is currently guided Downtown Center by the 2040 Comprehensive Plan and zoned RX-TOD, Residential-Office Mix Transit-Oriented District (TOD) Center.

This memo discusses the City’s zoning and density standards, an analysis of the applicant’s proposal using these standards and a comparison of other buildings in Downtown. The key question for the City to discuss during this meeting is should the City consider deviating from the 100 units per acre density standard? If so, staff recommends discussion identifying priority City goals and policies of the Comprehensive Plan that the project should seek to advance or achieve as an offset.

**Primary Issues to Consider**

- Background
- Public Comment
- Zoning and Land Use Review
- Potential Review Process

**Supporting Documents**

- Applicant’s Plans, & Elevations
- Public Comments and Neighborhood Meeting Summary
- Zoning Review

\_\_\_\_\_  
Ryan Krzos, AICP  
City Planner

Financial Impact: \$ <u> N/A </u> Budgeted: <u> </u> Y/N <u> </u> Source: _____ Related Documents (CIP, ERP, etc.): _____ Notes: _____
--

### **BACKGROUND**

102 and 106 – 11<sup>th</sup> Avenue South were originally platted as part of the West Minneapolis subdivision in 1887. The residential structures on both lots were constructed in 1893 per County records. The two lots are each roughly 50 ft in width by 126 ft in depth with a sum total of 12,536 sq. ft. or 0.28 acres. A series of retaining walls elevate the grade surrounding both structures above the street level along both 1<sup>st</sup> Street and 11<sup>th</sup> Avenue. The applicant, Sachin Chauhan, has secured a purchase offer to acquire the subject property, and is requesting review of concept plans for development of a five-story, 36-unit, multi-family apartment building.

### **PUBLIC COMMENT**

As a concept plan review, no public hearing is required. However, the City did require the applicant to hold a neighborhood meeting to gather feedback from the community. The meeting was held on October 13<sup>th</sup> at City Hall. The applicant mailed invitations to property owners and residents within 500 feet of the subject property (the same notification distance required of a typical public hearing). Signage informing the community of a development proposal was also displayed on the site. A summary of the neighborhood meeting is included as an attachment. In addition, the City received two email messages regarding the concept plans, which are also attached.

### **ZONING AND LAND USE REVIEW**

The 2040 Comprehensive Plan – Cultivate Hopkins guides this property as Downtown Center. The City envisions this area as the central economic, social and civic district for Hopkins and the region. Maintaining Downtown Hopkins' unique identity and sense of place must be a central consideration when planning for future growth. Mixed uses (vertical or horizontal) are encouraged. Overall, this land use category should include medium to larger scale neighborhood and regional uses at minimum densities of 20 to 100 units per acre. Minimum density requirements increase to 75 to 150 units per acre within one quarter (1/4) mile radius of a light rail transit station. However, the subject property is not within this area, as the boundary of the buffer lies just to the east across 11<sup>th</sup> Avenue. Proposed residential density of the concept plan equates to 128.6 units per acre (36 proposed units / 0.28 acres).

Accordingly, the principal issue to discuss with the applicant is; whether the proposal should stick to the hard line density requirements, or alternatively, what the City would like to see out of the development to achieve the overall balance of community goals. Examples of developments within this area and their corresponding residential density include;

- Ovation Apartments (Former Hopkins Theater): 80 Units/Acre
- Moline: 97 Units/Acre
- Gallery Flats: 90 Units/Acre
- Marketplace Lofts: 64 Units/Acre
- Vista 44: 50 Units/Acre
- The Burnes Building (Formerly known as Raspberry Ridge II): 44 Units/Acre
- Marketplace & Main: 39 Units/Acre
- 134 – 11<sup>th</sup> Ave S: 54 Units/Acre
- 110 – 11<sup>th</sup> Ave S: 57 Units/Acre

In addition to use and density standards noted above, the 2040 Comprehensive Plan includes goals and policies to help guide the community when considering future development proposals. For greater context, these goals and policies are categorized under four environments - Built, Natural, Social and Economic. A summary of goals and policies that can help inform the review and discussion of this concept plan are provided in the section below.

**Built Environment Goals.** Built environment goals address the areas of land use, housing and transportation. They guide future growth to the City's mixed-use center (including Downtown) but at a scale and character consistent with Hopkins existing neighborhoods. Development should be transit-oriented and reinforce Hopkins' unique identity and sense of community through high quality urban design. It should include appropriate transitions between areas of the city where there are potential incompatibilities in land use or scale.

**Natural Environment Goals.** Natural environment goals relate to natural systems and resources and include guidance on building and site efficiency. These goals recommend development be sustainable by supporting transit, bicycle and pedestrian activity; encouraging sustainable building techniques; and energy and water use efficiency.

**Social Environment Goals.** The social environment is defined as human interaction and engagement in the community. It includes sections on quality of life and sense of community and addresses such topics as public services and facilities, education and equity. The sections on public health, community connections, and arts and culture are most relevant to the proposed concept plan. These goals call for development to be designed to support active and healthy lifestyles and include art or other culturally distinctive elements to define a sense of place and blend into the fabric of the community.

**Economic Environment Goals.** The economic environment covers the economy, jobs, businesses, income and poverty and affordability. It includes sections on economic development and competitiveness and guidance for Downtown Hopkins as the city's economic hub. The Downtown goals most relevant to the proposed concept plan recommend development grow the residential and jobs populations in downtown, attract specialty retailers and focus commercial development along Mainstreet.

**Zoning Review.** Much of the details of the development is not known at this early stage and as the plans get further refined, there are a number of key Zoning items that will need to be addressed:

- Parking – As proposed the development would provide one vehicle stall per unit; 1.2 stalls per unit are required. The Code would allow the applicant to seek a modification to this requirement as described in the potential review process section below.
- Front and Street Side Setbacks – the plans do not appear to comply with the 7.5 ft maximum front setback (along 11<sup>th</sup> Avenue), and portions would not comply with the 5 ft minimum street side setback (along 1<sup>st</sup> St).
- Design details enhancing the pedestrian experience along 11th Avenue South and 1st Street South. Specifically, the project will need to meet transparency requirements and the building design requirements that ensure visual variety in the treatment of facades along longer

portions of the building. Additionally, the site will need to meet the site design standards in particular stipulate landscape plantings and streetscaping.

A more comprehensive assessment of the proposed concept plans against the provisions of the Zoning Code is provided in the Zoning Review attachment.

### **POTENTIAL REVIEW PROCESS**

Based on the applicant's concept plan, staff anticipates this project will need the approvals listed below. The applicant should use feedback from the Planning & Zoning Commission and City Council to prepare these applications.

- Site Plan Review
- Administrative Lot Combination. The two lots would have to be combined into a new lot as shown on the concept plan. This process may not necessarily require additional review by the Planning & Zoning Commission or approval by the City Council.
- Approvals from the Nile Mile Creek Watershed District.
- Potentially a Conditional Use Permit for alternative compliance to reduce the vehicle parking ratio. Alternatively, a Planned Unit Development may also be pursued with parking as a deviation – see below.

**Planned Unit Development.** The purpose of a Planned Unit Development is to allow flexibility from traditional development standards in return for a higher quality development. Even though the City of Hopkins recently adopted new zoning regulations, this site has unique characteristics including the property elevation and limited footprint which may justify a planned unit development approach. Typically, the City looks for a developer to exceed other zoning standards, building code requirements or meet other goals of the Comprehensive Plan. In exchange for the flexibility offered by the planned unit development, the applicant is expected to detail how they intend to provide a higher quality development or meet other City goals. The typical list of items the City considers when evaluating the use of a planned unit development for this site includes, but is not limited to, the items listed below.

- Enhanced architectural design and building materials
- Natural resource protection and storm water management
- Pedestrian and bicycle facilities in excess of minimums
- Affordable housing
- Enhanced sustainability or livability elements
- Energy conservation and renewable energy
- Open space preservation
- Enhanced landscaping, streetscape, public art, or buffering

### **ENGINEERING COMMENTS**

The Engineering and Public Works Department has reviewed the applicant's concept plan and offers the following comments.

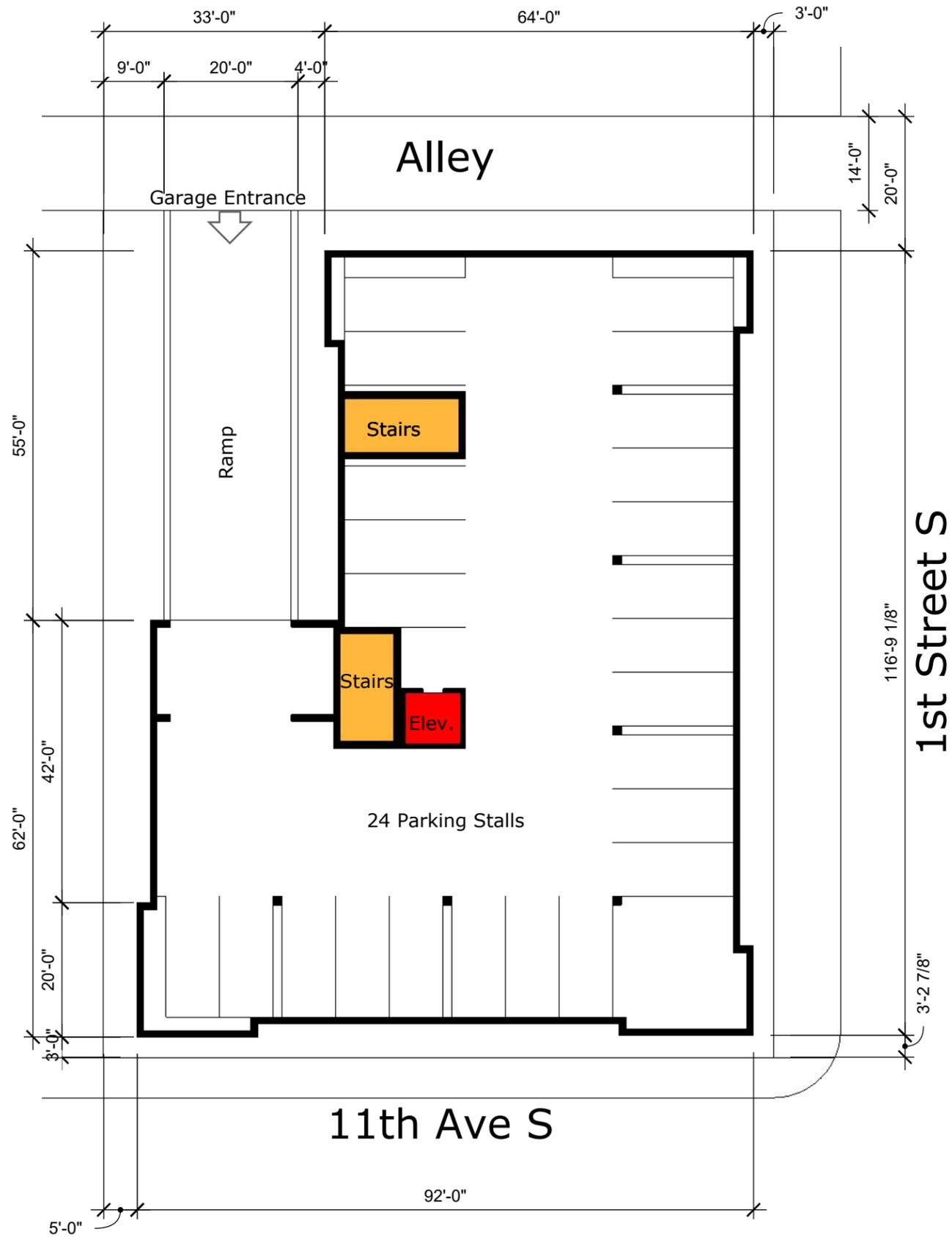
- A traffic study will need to be completed to determine any impacts the development will have to adjacent streets and the transportation network. There are other planned developments adjacent

to this site and the study should take into account the anticipated impacts from those in the analysis.

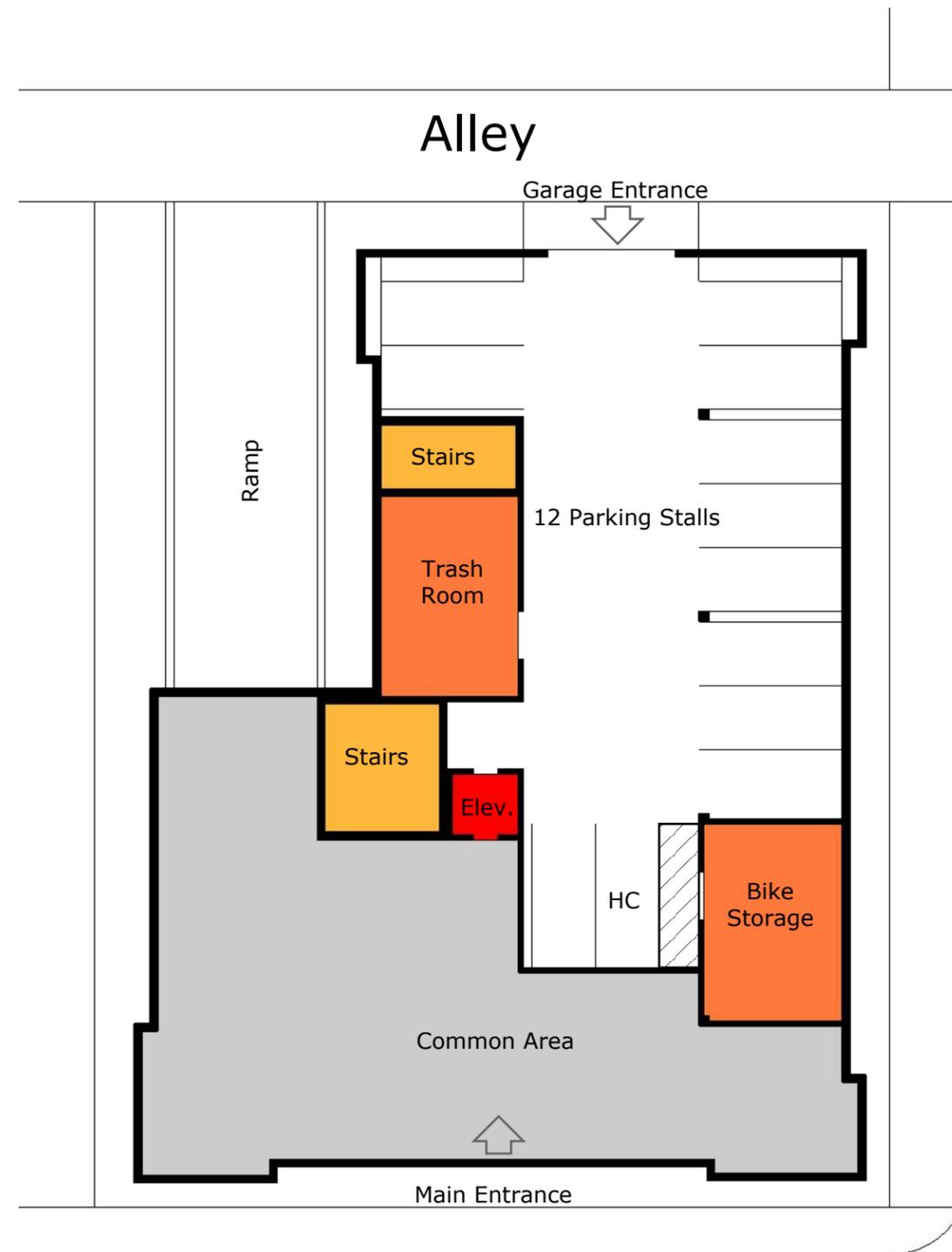
- A review of the City's sewer capacity in the vicinity and water model will need to be completed. There are other planned developments adjacent to this site and the review should take into account the anticipated impacts from those in the analysis.
- The site is within the Nine Mile Creek Watershed District and the applicant will need to obtain a storm water permit from the District.

### **RECOMMENDATION**

As a concept review, this application does not require formal action by the Planning & Zoning Commission; however, the Commission should discuss the proposal, particularly as it relates to density and the zoning requirements, so the applicant can work toward preparing a future, formal submittal.



**Lower Level Plan**



**Main Level Plan**



**1st to 4th Level Plan**



1

**Front Elevation**

SCALE: 3/32" = 1'-0"



1 **Side Elevation**  
 SCALE: 3/32" = 1'-0"







## Ryan Krzos

---

**From:** Krissandra Anfinson <krissandraaa@gmail.com>  
**Sent:** Wednesday, October 12, 2022 2:22 PM  
**To:** Ryan Krzos; sachin@usinternet.com  
**Cc:** Jeff Johnson  
**Subject:** [EXTERNAL] 102 & 106 11TH AVENUE SOUTH comments

Hello,

We have lived at 113 12th Ave South for 13 years and share the alley with 102 and 106th 11th Ave. We are opposed to the proposed development of the single family homes in 102 and 106 11th Ave being turned into an apartment building. Please reject this proposal.

We are a single family home already in the middle of a very congested block. Another apartment on that corner would exacerbate the issues we already experience with lack of parking and high traffic in the alley.

There is no street parking and this will increase noise and traffic on 12th Ave south, our shared alley and on 1st st. Even with the proposed underground parking and light rail, there is no way that alley could support the amount of traffic and deliveries needed to support the development. All of this traffic will spill over to 1st and 12th streets and negatively impact the current residents.

With two apartments going up within a block of our home, we have no interest in adding a third. It is unreasonable to ask that we live in a construction zone on all three sides. If there is construction on 1st and 12th Ave, how are we supposed to even drive on our street to get to our homes? This is unreasonable of the city to ask of the residents of 12th Ave South.

The houses at 102 and 106th are in live able condition and should be preserved. Single family homes are in short supply. We have been in support of the Vista and Ovation projects and agree that Hopkins should have a diverse array of housing options. Please continue to identify undeveloped and underutilized buildings to create housing. Destroying any single family homes is a loss to the whole community. Hopkins doesn't have more land to build single family homes. Once you turn bulldoze houses into apartment, we will never get them back. This is a waste.

There are enough apartments. We already live in between four of them. Don't destroy homes just so some developer can turn a profit. Please reject this proposal.

Thank you for your time,

Jeff Johnson  
Krissandra Anfinson  
113 12th Ave South  
Hopkins, Mn 55343

## Ryan Krzos

---

**From:** Nate Merrill <natemerrillmn@gmail.com>  
**Sent:** Tuesday, October 11, 2022 1:22 PM  
**To:** Ryan Krzos; sachin@usinternet.com  
**Cc:** Laura Merrill  
**Subject:** [EXTERNAL] Concerning 102 & 106 11TH AVENUE SOUTH

Ryan & Sachin,

Thank you for your letter regarding the proposed development at 102 & 106 11th ave south. I have been a resident of 125 12th ave south for 13+ years.

Ryan, I am on record in both supporting Vista44 and the Ovation project. I support increased density and smart urbanism. I believe that smart urbanism includes traffic controls as density increases.

Additionally, my understanding is we are trying to preserve our single family housing inventory as a city; this project clearly is not preserving single family housing.

I am deeply concerned about adding additional density in this area without a comprehensive plan for controlling traffic at 1st street and 11th Ave south (and 1st and 12th). That is a difficult intersection to negotiate as it is — and the new developments at Vista44 and Ovation is only going to drive more vehicle traffic.

Negotiating the alley behind my house and that is behind 102/106 is already difficult with the current apartment buildings and their associated parking lots.

Additionally, street parking is the safest way to access my house for my children and elderly relatives. This new development would almost certainly increase street parking utilization on 12th Ave south (of which is already utilized by 4 apartment buildings) on the block.

I'd like to see approval for Sachin's project with the following conditions being met by the city's traffic department or the developer:

- Permit parking for single family residences on 12th Ave south, permits not to be issued to the apartments on 11th or 12th.
- Zebra stripes and 4way stop at 12th Ave south and 1st street
- Additional parking capacity added to Sachin's project or a reduction in the number of housing units.
- Redevelopment of the 11th ave and 1street intersection with pedestrian bump outs, limiting 1 lane of traffic in all 4 directions directions.

-Nate

# 102 & 106 11<sup>th</sup> Ave S, Hopkins

## Neighborhood Meeting

Meeting Date: **October 12, 2022**

Meeting Time: **6:00 pm**

Location: **Hopkins City Hall, Raspberry Room**

Presenters: **Sachin Chauhan (Developer) & Fernando Lino (Architect)**

### 6:10 pm Meeting Start

Sachin Chauhan presented document "102 & 106 11th Ave S Multi-Unit Building REV 2.pdf" thru 11" x 17" documents on easel

### 6:30 pm Question & Discussion Session

- QUESTION: How do you address parking with a new building?
  - Building proposal includes parking for each unit
- QUESTION: Existing alley supports 1-way traffic for adjacent residents, will that change?
  - Existing concern (not a new one due to proposed building)
  - Building proposal includes offset so that there is space between building and driveway
- EXISTING CONCERN: Too much traffic at 11<sup>th</sup> Ave & 1<sup>st</sup> Street
  - Participant suggested 'bumps' and/or 'cross walk stripes' to slow down traffic
- QUESTION: Other apartment buildings sometimes leave the garbage dumpsters out, how will you address that?
  - Building proposal includes enclosed storage for dumpsters
- QUESTION: Is the building creating too many rentals in the city?
  - Building proposal would result in increased property tax revenue, which would in turn help keep single family house property tax lower and result in more money for Hopkins school systems
  - We offered a few additional benefits by the city adding more rentals:
    - More resident to maintain a vibrant downtown Hopkins economy
    - Helps meet a metro wide housing shortage
    - Helps achieve higher density goals
  - Participant countered with "What is wrong with more rentals. I started out renting in Hopkins, now I have purchased a single-family home in Hopkins".

### 7:20 pm Meeting End (no additional questions or concerns)

## ZONING REVIEW: 102 & 106 - 11<sup>th</sup> AVENUE SOUTH REDEVELOPMENT

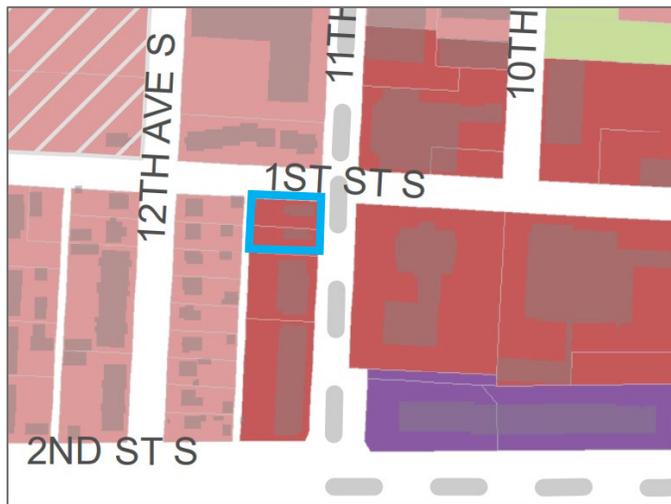
**Review Date:** October 25, 2022

**PROJECT DESCRIPTION:**

Redevelopment of two residential lots containing existing structures: Proposed five-story building with basement and first level parking, interior common amenity spaces, and 36 apartments.

<b>BASE ZONE:</b>	RX-TOD	<b>PROPOSED USE:</b>	Multi Family
<b>BUILDING TYPES ALLOWED:</b>	General Building, Row Building	<b>COMPREHENSIVE PLAN DESIGNATION:</b>	Downtown Center
<b>BUILDING TYPE SELECTED:</b>	General Building	<b>EXISTING USE:</b>	Residential
<b>LARGE PUD REQUIRED?</b>	No	<b>DEADLINE FOR ACTION</b>	N/A

**ZONING MAP**



Review Key	
✓	Meets or exceeds regulation
N/A	Regulation does not apply
✗	Does not meet regulation
Cond.	Met per conditions
?	More Information Needed
PUD	PUD/Variance Deviation

**ARTICLE 3 MIXED-USE ZONES**

Section of Code	Regulation	REVIEW NOTES
<b>102-350 REGULATIONS APPLICABLE TO ALL BUILDING TYPES</b>		
✓	102-350(a) PERMANENT STRUCTURES	Structures are permanent.
✓	102-350(b) ONE BUILDING PER LOT	Concept shows one principal building.
?	102-350(c) TREATMENT OF YARDS	All yards must consist of landscape areas, patio space, or sidewalk space, unless otherwise expressly stated
?	102-350(d) TRASH, RECYCLING, REFUSE LOCATIONS	Location of utilitarian items to be identified as plans are refined. Trash storage room is proposed inside the building.
✓	102-350(e) FRONT STREETS	11 <sup>th</sup> Avenue is the designated front street abutting this lot.
?	102-350(f) MINIMUM PEDESTRIAN AREA	Where the area from the back of curb/edge of pavement to the lot line is less than 12 feet, the setbacks shall be measured from 12 feet off the back of curb/edge of pavement. <b>An existing conditions survey is needed to verify if additional pedestrian area will be needed along 11<sup>th</sup> Avenue or 1<sup>st</sup> Street.</b>

## 102-380 GENERAL BUILDING TYPE REGULATIONS (RX-TOD Zone)

	Section of Code	Regulation	REVIEW NOTES
<b>102-380(d) BUILDING LOCATION</b>			
✓	120-380(d)	MULTIPLE PRINCIPAL BUILDINGS	Allowed not proposed.
✓	120-380(d)	FRONT STREETWALL	80% min.; all of the front of the building is in the build-to line. Side setback are not included in this measurement.
✗	120-380(d)	FRONT STREET SETBACK	7.5 ft. min, 15 ft. max. along 11 <sup>th</sup> Avenue South; Shown as between <b>3 and 5 ft</b> from assumed front property line. Additional pedestrian area required per 102-350(f) may need to be included.
✗	120-380(d)	NON-FRONT STREET SETBACK	5 ft. min., 15 ft. max along the 1 <sup>st</sup> Street South side. Most of the building is setback <b>5 ft</b> from assumed property line, however portions are depicted with a <b>3 ft</b> setback. Additional pedestrian area required per 102-350(f) may need to be included.
✓	120-380(d)	SIDE SETBACK	5 ft. min along south property line; <b>5 ft proposed.</b>
✓	120-380(d)	REAR SETBACK	0 at 20-ft. alley; subject site abuts a 14 ft alley, therefore <b>6 ft</b> rear setback required and proposed.
?	120-380(d)	IMPERVIOUS SITE COVERAGE	<b>80% max.</b>
?	120-380(d)	ADDITIONAL SEMI-PERVIOUS COVERAGE	+15% - In addition to the 80% hardcover, 15% of the site may be semi-pervious, i.e. green roof, porous pavement, etc.
<b>102-380(e) PARKING &amp; ACCESSORY STRUCTURES</b>			
✓	120-380(e)	PARKING & DRIVEWAY ACCESS LOCATION	Required off alley or non-front street; <b>Alley driveways shown</b>
?	120-380(e)	DRIVEWAY SIZE & NUMBER	22 ft maximum driveway width
✓	120-380(e)	ATTACHED GARAGE SETBACK	Max. 1 access per development per street. No street access shown.
✓	120-380(e)	ATTACHED GARAGE DOOR LOCATION	Required 20 ft. min. behind front facade in rear of building; First floor structured parking is positioned <b>~24 ft</b> to the rear of the 11 <sup>th</sup> Avenue front façade.
✓	120-380(e)	SURFACE PARKING	Proposed on <b>rear</b> as is required
✓	120-380(e)	ACCESSORY STRUCTURES	<b>No Surface parking</b> proposed
✓	120-380(e)	ACCESSORY STRUCTURES	<b>No Accessory Structures</b> proposed
<b>120-380 (f) HEIGHT</b>			
✓	120-380(f)	HEIGHT	2 stories min, 10 stories max; <b>five stories</b> proposed
✓	120-380(f)	ALL STORIES HEIGHT	9 ft. min., 14 ft. max.; All stories between <b>11 ft and 14 ft</b>
<b>120-380 (g) ROOFS</b>			
✓	120-380(g)	ROOF TYPES	Flat, parapet, pitched allowed; <b>parapet depicted</b>
✓	120-380(g)	TOWER	A building tower is allowed, but <b>not proposed</b>
<b>120-380 (h) STREET FACADES</b>			
?	120-380(h)	TRANSPARENCY: FRONT FACADES	20% min; <b>Transparency not quantified.</b>
?	120-380(h)	TRANSPARENCY: NON-FRONT FACADES	18% min; <b>Transparency not quantified.</b>
✓	120-380(h)	BUILDING ENTRANCES LOCATION	One per every 120 ft. on front façade; <b>11<sup>th</sup> Avenue side requires a minimum of one entrance and one is proposed.</b>

✓	120-380(h)	ENTRANCE TRANSITION TYPE	A <b>Stoop</b> entrance type is Required. See 102-730 (c)
?	120-380(h)	GROUND STORY ELEVATION	The ground story must be between 18 in. and 30 in. above grade or between 30 in. and 4 ft. with a visible basement, except in floodplain locations. <b>Ground elevation not identified, but appears to be met with significant re-grade of site.</b>
✓	120-380(h)	HORIZONTAL DIVISIONS WITH SHADOW LINES	Horizontal shadow lines to run a min. 80% of length of facade. One division is required within 3 ft. of the top of any story between the basement and 3 <sup>rd</sup> . <b>Appears to be met with material change above first story.</b>
✓	120-380(h)	VERTICAL DIVISIONS WITH SHADOW LINES	One vertical division is required per every 120 ft. of street façade. <b>Multiple bays with shadow lines depicted on elevations.</b>

#### 102-380 (i) SUPPLEMENTAL GENERAL BUILDING REGULATIONS

N/A			No street facing courtyard proposed
?	120-380(i)(1)	FRONT STREETWALL EXCEPTIONS	Maximum setback may be expanded up to 20 feet for a maximum of 20% of the facade to allow for permanent outdoor seating or outdoor dining area;
N/A	120-380(i)(2)	THROUGH-LOTS	Subject site is not a through lot.
N/A	120-380(i)(3)	STORY SETBACKS AT N OR NX	N/A. No N or NX zoned property abuts the site.
N/A	120-380(i)(4)	VISIBLE BASEMENTS	For basement levels located more than 3 ft. above grade, street facades must meet the transparency regulations.
N/A	120-380(i)(5)	ADDITIONAL STORY HEIGHT (IX-TOD & IX-S)	N/A. Site is not zoned IX.

#### ARTICLE 7 BUILDING DESIGN

Section of Code	Regulation	REVIEW NOTES
<b>102-720 PARAPET ROOF TYPE</b>		
✓		Minimum parapet height is 1.5 feet with a maximum height of 6 feet; <b>parapet appears to be approx. 2 ft tall</b>
✓		A shadow line must be located within 2 feet of the top of the uppermost story.
✓	102-720(c)(1)	PARAPET HEIGHT
		A shadow line must be located at the top of the parapet. <b>Shadow lines appear to be provided.</b>
		See 102-16210 for definition of shadow line
✓	102-720(c)(2)	OCCUPIED BUILDING SPACE
		No portion of the parapet appears to include occupied building space.
?	102-720(c)(3)	ROOFTOP APPURTENANCES
		Any rooftop appurtenances must be located towards the rear or interior of the parapet roof. Rooftop appurtenances should be located such that the parapet blocks their view from the sidewalk across the street.
<b>102-730 (c) STOOP ENTRANCE TYPE</b>		
?	102-730(c)(1)	STOOP SIZE
		Stoop is the required entrance type for the General Building Type in the RX-TOD Zone. A stoop is a small, open platform that may include a canopy or roof cantilevered off the building and may or may not be elevated above the sidewalk. Stoops must be a minimum of 4 feet wide and 3 feet deep.

			<b>Proposed entrance appears to meet this requirement.</b>
?	102-730(c)(2)	RAMPS	Where feasible, ramps should be incorporated at the principal building entrance and designed as an integrated part of the stoop, with rails matching any provided on steps. <b>Ramp is depicted, no railing shown.</b>
<b>102-740 FAÇADE MATERIALS</b>			
?	102-740(b)	MAJOR STREET FACADE MATERIALS	Allowed major façade materials are listed in Table 7-1 for General Building Type in the RX-TOD Zone: Full Dimension brick, architectural Concrete Masonry Units, Stone, 2-3 layer cement-based stucco. <b>A brick patterned material is depicted. Full brick is required, thin brick or veneer are not considered a major material.</b>
?	102-740(b)(1)	STREET AND OTHER FRONT FACADES	Major materials must be applied to a minimum of 65% of all street or other front facades, not including window and door areas. <b>Material percentages not provided.</b>
?	102-740(b)(2)	SIMPLICITY OF FACADE MATERIALS	A single major façade material must be used for each building façade segment, 60-foot or larger.
?	102-740(b)(4)	SIDE AND REAR FACADES	When side yards between two buildings are a total of 5 or more feet in width, major materials must be applied along that side facade from the front of the building a distance equal to the width of the side yard, as measured perpendicularly between the two side facades. <b>Interior side elevations not provided.</b>
N/A	102-740(b)(5)	ORIGINAL FACADE MATERIALS	Applicable to modifications of existing buildings with brick or stone facades. <b>N/A to this site.</b>
?	102-740(c)	MINOR STREET FACADE MATERIALS	A maximum of 35% of each street or other front façade surface, not including window and door areas, may be composed of minor facade materials. <b>Material percentages not provided. Example minor materials include composite wood, fiber cement, and architectural metal</b>
?	102-740(d)	SIDE & REAR FACADE MATERIALS	All interior side and rear (non-street) facades not located on a rail or trail line must be faced in a major facade material, a minor facade material, or a material as allowed in Table 7-3. <b>Rear and interior side elevations not provided.</b>
?	102-740(f)	APPROPRIATE GRADE OF MATERIALS	All doors, windows, and hardware must be of commercial grade quality.
?	102-740(g)(1)	CHANGES IN FACADE MATERIALS	Changes in façade materials, whether major materials or minor materials, should occur mainly at concave corners or changes in facade planes.
✓	102-740(g)(2)	MATERIALS HIERARCHY	A hierarchy of materials must be maintained on the building facade, where "heavier", articulated unit materials (brick, concrete masonry units, stone) are located at the base of the facade and "lighter", constant surface materials with fewer seams (stucco, panels) are located above those on the facade. <b>Brick depicted on based with light materials above.</b>
?	102-740(g)(3)	SHADOW LINES ON SURFACES	Shadow lines must delineate changes in materials with solid materials of a thickness that is greater than 1.5 inches, such as cast stone, masonry, or stone
<b>102-750 FACADE ELEMENTS</b>			
?	102-750 (b)	WINDOWS	All windows, with the exception of ground story storefront systems and glass curtain wall systems, shall be recessed with

✓			the glass a minimum of 2 inches from the facade surface material or adjacent trim.
✓			A minimum of 70% of street façade windows must be vertically oriented. <b>All windows appear vertically oriented.</b>
?			Reflective glass and glass block are prohibited on street and other front facades. <b>No Glass block shown.</b>
?			A minimum of 70% of all street facade upper story windows must be operable. Ground story storefront glass and glass curtain wall systems are not required to be operable.
			For masonry construction, the expression of lintels must be included above all windows and doors by a change in brick coursing or by a separate detail or element.
?	102-750(c)	AWNINGS & CANOPIES	Awnings or canopy shall provide at least 8 feet of clearance over any walkway and 15 feet of clearance over vehicular areas. <b>One front awning depicted.</b>
?	102-750(d)	BALCONIES	<b>Balconettes are depicted</b> and are allowed and do not count towards the maximum permitted amount of balcony on a street facade. A balconette is a platform and door that are less than 18 inches deep. Otherwise, balconies must be a minimum of 4 feet deep and 5 feet wide.
N/A	102-750(e)	SHUTTERS	Any shutters must meet size and material requirements. <b>No shutters depicted.</b>
?	102-750(f)	SECURITY GRILLS & BARS	Exterior security bars and grills are prohibited. Interior grills must be retractable and hidden when retracted. <b>None Shown.</b>
?	102-750(g)	PRINCIPAL ENTRYWAY	Principal entrances to the building must be clearly delineated through one or more design features in Section 102-750(g). <b>Depicted entry has an awning and transom lights.</b>
N/A	102-750(h)	ARCADE DESIGN	No Arcade proposed
?	102-750(i)(2)	GROUND STORY AT SLOPING FACADES FOR NON-STOREFRONTS	Retaining walls shall not exceed 30 inches in height except along a maximum 8-foot section of frontage.
✗	102-750(j)	<b>BUILDING VARIETY</b>	buildings 90 feet in length or greater, as measured along any street or front facade, must treat that frontage in segments of 50 feet or less with the building variety standards in 102-750 (j)(3). <b>1<sup>st</sup> St Side exceeds 90 ft.</b>
✓	102-750(k)	ARTICULATION OF STORIES	Window placement on street facades must be organized by stories per the transparency regulations. <b>Windows are arranged by floor.</b>
			Shadow lines can be used to delineate stories.
N/A	102-750(l)	VISTAS	Vistas (an open space or a street terminating) are not present at this site
✓	102-750(m)	GARAGE DOORS	Requirements are applicable to garage doors included on any street facade. <b>Garage doors proposed on non-street facades.</b>
<b>102-760 UTILITY EQUIPMENT</b>			
?	102-760(b)	MECHANICAL EQUIPMENT IN BUILDING	Mechanical equipment shall be located within the building, unless the applicant demonstrates that locating the equipment within the building would conflict with the equipment's function.

?	102-760(c)	ROOFTOP MECHANICAL EQUIPMENT	Any rooftop mechanical equipment is to be screened or setback
?	102-760(d)	MECHANICAL EQUIPMENT ON STREET FACADES	Mechanical equipment and utility appurtenances shall not be located on a street facade unless the applicant demonstrates that locating the equipment in a different location would conflict with the equipment's function. Any equipment or appurtenance approved on a facade shall be located consistent with the standards of this section.
?	102-760(e)	MECHANICAL EQUIPMENT ON OTHER HORIZONTAL FACADES	Mechanical equipment, such as electrical transformers and air conditioners, located on the ground, decks, or horizontal surfaces other than the roof shall be located consistent with the standards of this section.

## ARTICLE 8 LANDSCAPE & SITE DESIGN

	Section of Code	Regulation	REVIEW NOTES
?	102-810(b)	VISIBILITY AT INTERSECTIONS	A 30 ft by 30 ft vision triangle, free from walls, fences, plants, or trees in excess of 30 inches above the abutting curb line shall be provided.
?	102-820	LANDSCAPE INSTALLATION	Notes to follow the specified landscape installation regulations required on submittal drawings.
?	102-830	LANDSCAPE MAINTENANCE	The owner is responsible for the maintenance, repair, and replacement of all landscaping required by code
?	102-840	EXISTING TREES	A survey of existing trees on the site is required, which is to include identification of significant and contributing trees.  Tree protection is required.
?	102-850	GROUND VEGETATION	All unpaved areas of any lot in any other zone must be covered by planting bed per 102-850 (b) or grass per 102-850 (c) or a combination of planting bed and grass.
?	102-860	SITE TREES	One medium or large tree is required per 3000 square feet of yard area.
?	102-870	STREETSCAPE DESIGN	The requirements of this section apply to development of new streets and development on all lots with 200 feet or more of street frontage on existing streets or the City may assess a fee-in-lieu of streetscape for deposit in the city's streetscape fund.
?	102-880	STREET SIDEWALKS	Sidewalks or multi-use paths must be provided along all street frontages, located within the public right-of-way. <b>Sidewalk along 1<sup>st</sup> is required.</b>
?	102-890	INTERNAL SITE SIDEWALKS	Sidewalks must connect between all building entrances to all public sidewalks, including at least one connection to each street-frontage sidewalk abutting the site.
?	102-8100	STREET TREES	Each lot is required to have one tree for every 40 feet of street frontage with a minimum of one street tree per street frontage, and must be located between the curb and sidewalk, a minimum of 2 feet and a maximum of 10 feet off the back of curb
?	102-8110	FRONTAGE BUFFERS	A frontage buffer is required when on-site vehicular parking, loading, outdoor storage, and/or other activities abut the street
N/A	102-8120	SIDE & REAR BUFFERS	A side and rear buffer is required along the side and rear lot lines where transitions between certain zones occur
N/A	102-8130	INTERIOR PARKING LOT LANDSCAPE	All off-street surface parking lots with more than 10 spaces and/or more than one drive aisle must meet the interior parking lot landscape regulations.

?	102-8140	SCREENING OF REFUSE & UTILITY AREAS	All dumpsters, loading areas, open storage, refuse areas, mechanical equipment, and utility appurtenances must be screened
?	102-8150	OUTDOOR LIGHTING	No lighting depicted in drawings.

**ARTICLE 9 PARKING & MOBILITY**

	Section of Code	Regulation	REVIEW NOTES
✘	102-920	OFF-STREET PARKING – MOTOR VEHICULAR MINIMUMS & MAXIMUMS	Minimum for Multi-family: 1.2 enclosed stalls per unit No Maximum; 36 units <b>require 43 enclosed stalls</b> . Plans propose <b>36 enclosed stalls</b> . Applicant encouraged to pursue a reduction per Alternative Compliance per Section 102-940 (i)
?	102-920	OFF-STREET PARKING – BICYCLE MINIMUMS	Minimum for Multi-family: <b>1.1 stalls per unit</b> . With 90% as long-term.
?	102-940	PARKING REDUCTIONS & CREDITS	Applicant can pursue a reduction per Alternative Compliance per Section 102-940 (i)
✓	102-950	LOCATION OF OFF-STREET PARKING	Except as otherwise expressly stated in this article, required off-street parking areas must be located on the same lot as the building or use they are required to serve.
?	102-960	PARKING AREA LAYOUT & DESIGN	Parking areas must be designed to allow vehicles to enter and exit a street and cross public sidewalks in a forward motion
?			Parking stalls may be standard or compact
?	102-970	ELECTRIC VEHICLE SUPPLY EQUIPMENT	Proposal includes residential off-street parking areas with 36 Parking Spaces.
?			Requires Level 1 or Level 2 electric vehicle charging stations for at least <b>5% of provided parking spaces</b> . At least one of the electric vehicle charging stations provided must be accessible to a vehicle parked in an accessible parking space.
			<b>An additional 10% of the spaces must be EV-ready.</b>
			Short-term bicycle parking must be located on the subject lot, unless the city approves a proposal to allow private bicycle parking facilities to be located in the right-of-way.
			Long-term bicycle parking spaces must:
?	102-990	BICYCLE PARKING	– Be located with direct access by the bicycle rider, with no more than 50% of the required spaces requiring the use of stairs or elevators;
			– May not be located in dwelling units or on dwelling unit balconies;
			– Must protect the entire bicycle, its components and accessories against theft and inclement weather, including wind-driven rain and snow.
			– Must be designed to allow bicycles to be securely locked to a bicycle rack in: A bike storage room that is accessible only to authorized users and has at least 2 electrical outlets; or a bicycle locker with a separate access door for each bike; or an attended bike storage room.