

HOPKINS PLANNING & ZONING COMMISSION

AGENDA

Tuesday, September 26, 2023

6:30 pm

**THIS AGENDA IS SUBJECT TO CHANGE
UNTIL THE START OF THE PLANNING & ZONING COMMISSION MEETING**

I. CALL TO ORDER

II. ADOPT AGENDA

III. COMMUNITY COMMENT

IV. CONSENT AGENDA

1. Minutes of the August 22, 2023 Planning & Zoning Commission Meeting

V. PUBLIC HEARINGS

1. 2023-13 Cassia Chapel View Care Center – Planned Unit Development and Conditional Use Permit
2. 2023-14 Zoning Text Amendment for Downtown Office Uses in Mixed Use Zones

VI. OLD BUSINESS

VII. NEW BUSINESS

VIII. ANNOUNCEMENTS

IX. ADJOURN

**HOPKINS PLANNING & ZONING COMMISSION
REGULAR MEETING PROCEEDINGS
AUGUST 22, 2023**

CALL TO ORDER

Pursuant to due call and notice thereof a regular meeting of the Hopkins Planning & Zoning Commission was held on Tuesday, August 22, 2023 at 6:30 p.m. in the Council Chambers at City Hall, 1010 1st Street South.

Chairperson Wright called the meeting to order with Commission Members Terrill, Nur, Green, Fauchald, Ilstrup and Goodlund attending. Also present was City Planner Krzos and Planner Howard.

ADOPT AGENDA

Motion by Terrill. **Second** by Nur.

Motion Adopt Agenda as presented.

Ayes:

Nays: None. Motion carried.

COMMUNITY COMMENT

None.

CONSENT AGENDA

Motion by Ilstrup. **Second** by Green.

Motion Approve the Consent Agenda

1. Minutes of the July 25, 2023 Planning & Zoning Commission Meeting

Ayes:

Nays: None. Motion carried.

PUBLIC HEARING

1. **2023-11 Text Amendment for Attached Garage Setbacks for New Construction in N3-B Zones**

Planner Howard summarized Planning Application 2023-11. In July of 2022, the City's zoning code update established new provisions related to setbacks for attached garages relative to the main principal building's front façade in neighborhood zones and the allowed locations for garage doors in order to encourage development that is human-scaled and pedestrian-oriented. The code update originally required attached garages in N3-B zones to be set back 30 feet from the main principal building's front façade and only allowed garage doors to be located on the rear, side, or side street façade. These standards reflect that most properties located in N3-B zones are served by improved alleys. However, this presented design challenges to property owners in the N3-B zone that are not served by an improved alley, including a home proposed at 13 Harrison Avenue South for which variances were requested but denied by the Planning & Zoning Commission and City Council. The City Council instead directed staff to further amend the code in order to allow homes designed in the same manner as 13 Harrison Avenue South to be constructed in N3-B zones on undeveloped lots that are not served by alleys.

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AUGUST 22, 2023**

The proposed ordinance would allow garage additions to be constructed to the same setback as the existing garage in legally nonconforming attached garages on N3-B properties that do not have access to an improved alley. The ordinance would also allow attached garages to project in front of the principal building's front façade by up to 12 feet for new construction on vacant N3-B lots that lack access to an improved alley if specific conditions to garage width, height and opacity are met.

Chairperson Wright opened the public hearing. There were no public comments.

Motion by Goodlund. **Second** by Illstrup.

Motion Close the Public Hearing.

Ayes: All.

Nays: None. Motion carried.

Motion by Green. **Second** by Nur.

Motion Adopt Planning & Zoning Resolution 2023-12, recommending the Hopkins City Council approve an ordinance amending Chapter 102 of the City Code Regarding Attached Garage Setbacks for New Construction in N3-B Zones.

Ayes: All.

Nays: None. Motion carried.

OLD BUSINESS

None.

NEW BUSINESS

1. 2023-10 Hopkins Rail Support Facility (1515 6th Street South) Review

City Planner Krzos summarized Planning Application 2023-10. The Metropolitan Council via Metro Transit's Green Line Light Rail Extension (LRT) project is proposing to construct an approximately 24,000 square foot maintenance facility at 1515 6th Street South. The proposed building will contain truck garage space, workshop areas, warehousing and office spaces. The facility will be staffed 24-hours a day by approximately 50 full-time equivalent employees. There was no formal action taken on the item. The Planning & Zoning Commission was asked to provide feedback and review the proposed facility for compliance with the Comprehensive Plan.

Ryan Kronzer, Assistant Director for Design Engineering and Joe Johnson, Design Lead from the Metropolitan Council provided a construction update on Green Line extension and additional information about the rail support facility. General discussion from the Commission focused on proposed landscaping, outdoor storage, truck circulation, impervious coverage and sustainability aspects including storm water, wastewater, and solar energy potential.

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Motion by Fauchald. **Second** by Terrill.

Motion Adopt Planning & Zoning Resolution 2023-11, finding that the proposed Hopkins Rail Support Facility is consistent with the Comprehensive Plan, with the inclusion of an amendment that the resolution drafted for City Council approval includes language related to the City goals discussed during the Planning & Zoning Commission meeting.

Ayes: All.

Nays: None. Motion carried.

ANNOUNCEMENTS

City Planner Krzos updated the Commission on past projects and upcoming agenda items.

ADJOURNMENT

There being no further business to come before the Planning & Zoning Commission and upon a motion by Goodlund, second by Green, the meeting was unanimously adjourned at 7:55 p.m.

Respectfully Submitted,

Courtney Pearsall

Courtney Pearsall, Administrative Assistant



CITY OF HOPKINS

Planning Application 2023-13

To: Planning and Zoning Commission Chair and Members of the Commission
From: Ryan Krzos, City Planner
Date: September 26, 2023
Subject: 412 - 5th Ave N – Cassia Chapel View Care Center - Planned Unit Development and Conditional Use Permit

RECOMMENDED ACTION

MOTIONS TO:

Adopt Planning & Zoning Resolution 2023-13, recommending the Hopkins City Council approve the PUD Overlay Rezoning Ordinance and granting PUD Site Plan approval for 412 - 5th Ave N.

Adopt Planning & Zoning Resolution 2023-14, recommending the Hopkins City Council approve the Conditional Use Permit allowing an 88-bed Skilled Nursing Facility at 412 - 5th Ave N.

OVERVIEW

Augustana Land Development LLC. requests land use approvals to allow a redevelopment of the former Mizpah Church at 412 - 5th Avenue North. The two-story development is for a new 88-bed skilled nursing facility adjacent to their existing Chapel View campus. A conditional use permit is required for this type of use.

The proposed location is a 2.37-acre parcel with a vacated church. The new development proposal would include demolishing the church building. The applicant is also seeking the planned unit development (PUD) form of approval to facilitate the redevelopment. The Planning and Zoning Commission is to conduct a public hearing on this item and provide a recommendation on the requests to the City Council.

PRIMARY ISSUES TO CONSIDER

- Background
- Legal Authority
- Zoning Review
- Alternatives

SUPPORTING INFORMATION

- Planning and Zoning Commission Resolutions 2023-13 & 2023-14
- Owner's Application, Narrative, Plans and Exhibits
- Traffic Study
- Zoning Review

BACKGROUND

The subject property at 412 - 5th Avenue North is zoned NX2, General Residential Mixed and is the location of the former Mizpah United Church of Christ facility. The existing church building was constructed in the 1950s with additions in the 1960s and 1980s. Day care businesses have also operated in the building. Augustana Land Development LLC recently purchased the property and is proposing to demolish the church building and construct a two-story 88-bed skilled nursing facility.

The property owner operates the Chapel View campus adjacent to the site to the southwest. The owner indicates that the skilled nursing units in an existing building would be relocated to the new building. The property owner also owns 6 of the 8 dwellings along the west side of 5th Avenue to the south of the site. None of those properties are part of this project, and they are guided by the Comprehensive Plan to remain generally same; at low to medium residential density (5-12 units per acre).

Skilled nursing facilities are within the group living category as defined by the Zoning Code. Other group living uses include convents, dormitories, monasteries, fraternity and sorority houses, rooming houses, and residential facilities. Group living uses in the NX2 zone are a conditional use, meaning a conditional use permit must be granted by the City to initiate the use at a particular location.

The applicant is also seeking the PUD form of approval which allows departures from the underlying zoning requirements in exchange for a development that exceeds minimum standards and quality. Because the proposed building is for a very specific population, the design of the building addresses different functional needs than if it was for the general population, particularly in the area of parking and circulation. A PUD allows for the flexibility to design parking that meets the needs of guests and employees rather than the occupants. Additionally, the subject lot has significant depth in relation to its width. As such, flexibility for building layout standards allows for more efficient use of the site's developable area.

PUBLIC COMMENT

These planned unit development and conditional use applications require the applicant hold a neighborhood meeting. The intent of the neighborhood meeting is to expand and enhance the dissemination of information to the residents of the City and to encourage involvement by residents in the planning process. The meeting was held on Monday, September 11, 2023, at Gethsemane Lutheran Church. A summary of the meeting is included as an attachment.

The land use approval requests also require a public hearing. The City published notice of this public hearing in the official paper and mailed notices directly to the properties and residents within 500 feet of the subject property. Signage informing the community of a pending development proposal was also displayed on the site. As of the writing of this report, the City has not received any comments on this item. Staff will provide an update to the Planning and Zoning Commission on all public comments received during the public hearing.

LEGAL AUTHORITY

This proposal includes two different types of land use applications. The planned unit development application is considered a legislative action. When considering a

legislative action, the City is assigning zoning classifications or creating development standards to regulate the types of uses and/or structures. Under the law, the City has wide flexibility to create standards that will ensure the type of development it desires; however, these regulations must be reasonable and supported by a rational basis relating to promoting the public health, safety and welfare.

Conversely, a conditional use permit request is considered a quasi-judicial action. For this type of application, the City is judging whether the applicable Zoning regulations and approval criteria are or will be followed. Generally, if the application meets these requirements they should be approved. The City may impose conditions as long as said conditions are reasonably related to the impacts of the use or structures in question.

CONDITIONAL USE PERMIT REVIEW

The NX2 zone allows for Group Living uses upon approval of a conditional use permit. New conditional use permits may only be granted if the City determines that:

- (1) The proposed conditional use is consistent with the comprehensive plan and the purposes of the development code;
- (2) The proposed conditional use complies with all applicable provisions of the development code; and
- (3) The proposed conditional use will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

Consistency with the Comprehensive Plan

The subject property is guided as General Urban Neighborhood in the [2040 Comprehensive Plan](#). The General Urban Neighborhood is characterized by compact moderate to high density residential neighborhoods include a range of attached multiple family and apartment units of varying scale and height. Neighborhood typically are designed around large blocks with internal street systems that provide good vehicle connections. Development in the General Urban Neighborhood is to consist of moderate to high density residential and accessory uses. Projects are expected to be well connected via transit and support adjacent Centers. Scale and height of development should be compatible with existing and planned character. The residential density prescribed in the 2040 Comprehensive Plan in the General Urban Neighborhood future land use designation is 5 to 40 units per acre. With 88 beds and a parcel size of 2.37 acres the density equates to 37 units per acre.

The following goals and policies of the Comprehensive Plan are supported by the proposed development:

Built Environment – Land Use

- Support and strengthen the city's residential areas with reinvestment and appropriate infill.
- Encourage all developments to incorporate common spaces (interior or exterior) that help enhance the public realm and sense of community.

Built Environment – Housing

- Grow the supply of housing in Hopkins, particularly in targeted areas.
- Support the development of moderate to high density housing in appropriate locations.
- Maintain neighborhoods with a choice of quality housing options, including those

meeting the needs of a variety of household types and life stages.

- Use redevelopment opportunities to provide new housing choices for the community.

Social Environment – Quality of Life

- Support the vision of a community where everyone has access to the resources and opportunities needed to live healthy, active lives.

Natural Environment – Sustainability and Natural Resources

- Encourage sustainable practices in locating, designing, constructing, and maintaining development in the city.
- Support site design that efficiently and sustainably uses space.
- Support greener development patterns through stormwater management and landscaping of sites.
- Increase the use of solar power and other renewable sources for city infrastructure, facilities, and operations and encourage residents and businesses to make renewable energy improvements.
- Support the development and use of renewable energy sources in Hopkins, including solar, geothermal, biomass, and other alternatives.

Consistency with the Development Code

A detailed assessment of the proposed facility against the standards of the zoning code is included as an attachment to this report. As noted, multiple aspects of the projects conflict with code requirements. As a result, the applicant is requesting approval of the project under the planned unit development process – as further analyzed below. Should the City decide against granting the planned unit development form of approval then any conflicts with the code should be resolved in order to grant conditional use permit approval.

Beyond the deviations from the code requested by the applicant, staff is recommending conditions of approval requiring modifications to comply with certain standards.

Specifically, the recommended conditions would require the following actions:

- Installation of 15 bicycle parking stalls near the north main entryway. This would include a modification to the requirement that would have otherwise required 13 of the 15 stalls to meet the long-term standards.
- Provision of two electric vehicle charging stations, and provision of four additional EV-ready stalls.
- Addition of a fence between the proposed building and the dwelling located to the south in compliance with the side and rear buffer standards.
- Reduce the width of the driveway opening from 24 feet to 22 feet.
- The applicant will need to demonstrate that the proposed outdoor generator cannot function inside or otherwise relocate the equipment inside.
- Provide 15-foot clearance for the canopy over the vehicle circulation area (currently proposed at 14 feet).
- Verification of the required architectural and design detail standards regarding:
 - 70% of all street facade upper story windows must be operable;
 - Windows shall be recessed with the glass a minimum of 2 inches from the facade surface material or adjacent trim.
 - Use of commercial grade quality doors, windows, and hardware

- Shadow lines must delineate changes in materials with a thickness that is greater than 1.5 inches (Note: this would be applicable where brick transitions to fiber cement panels)
- Fencing details for the refuse and equipment enclosures in accordance with screening standards

Staff find that these modifications are relatively minor in nature, and incorporating said changes to the plans would not alter how the development would impact the neighborhood.

Impact on the Surroundings

No material negative impacts on the immediate area are expected because of the proposed redevelopment. A traffic study (see attached) conducted by the City's on-call traffic consultant suggests that the proposed development is expected to generate approximately 12 - a.m. and p.m. peak hour trips and 269 daily trips. Furthermore, vehicle traffic generated from the proposed use can be supported by the existing roadway network and no vehicular capacity improvements are expected to be needed.

The scale and height of the building is consistent with its surroundings. Plantings and required buffer fencing (see Zoning Review) provide appropriate transition with adjoining property. The redevelopment is not likely to impede the logical and orderly development (or redevelopment) of the adjoining properties.

PLANNED UNIT DEVELOPMENT REVIEW

The purpose of a planned unit development is to allow flexibility from traditional development standards in return for a higher quality development. Typically, the City looks for an applicant to exceed other zoning standards, building code requirements or meet other goals of the Comprehensive Plan. In exchange for the flexibility offered by the planned unit development, the applicant is expected to detail how they intend to provide a higher quality development or meet other City goals.

The Zoning Code establishes two types of Planned Unit Developments (PUDs): small-scale PUD and large-scale PUD. Small-scale PUDs are optional for projects 3 acres in area or more, and mandatory for projects above that threshold. Since the affected parcel is 2.37 acres in size, the small-scale PUD should apply. In general, small-scale PUDs are more tailored to development on a single lot; whereas, large-scale PUDs are to promote master-planned development of large parcels with a system of streets, blocks, and open spaces, and a mix of zones to create new, walkable neighborhoods.

The PUD process includes approval of a PUD overlay rezoning, and a PUD site plan approval. The rezoning component of the process adopts an overlay zone that supplements the underlying base zone (in this case the NX2 zone). The detailed plans for building and site design for the subject property comprise the PUD site plan.

The requested Planned Unit Development would authorize the applicant to deviate from the zoning regulations described in the table on the following page. The applicant is seeking this flexibility in exchange for installation of rooftop solar panels, creation of privately owned park-like space along the sidewalk frontage, and interior courtyards for residents with significant planted areas.

Requested Planned Unit Development Deviations		
Zoning Category	Zoning Requirement	Requested Deviation
Building Location	120-380(d)(1) Front Streetwall. 75% minimum	89.7%
Parking & Accessory Structures	102-880(e)(9) Surface Parking Location. Rear Yard	Proposed Parking on side and rear yard.
Trash Recycling, Refuse Locations	Trash, recycling, and other refuse areas must be located inside the building with access doors off the rear or interior side facade.	Refuse container area proposed exterior to the building.
Bicycle Parking Minimum	90% of required minimum (1 stall per 6 beds) as long-term	100% allowed as short-term

In making recommendations and decisions regarding approval of PUDs, the City must consider at least the following factors:

- a. Whether the proposed PUD development plan and zoning map amendment is consistent with the comprehensive plan and any other adopted plans for the subject area;
- b. Whether PUD development plan complies with the PUD overlay zone provisions of Section 102-440 of the Development Code;
- c. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations; and
- d. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.

Consistency with the Comprehensive Plan

A finding that the project is consistent with the Comprehensive Plan is required for approval of the Planned Unit Development. As noted in the Conditional Use Permit review section above, the proposal is consistent with the density guidance and would not directly conflict with the goals or policies of the Comprehensive Plan from staff's perspective. There are no other adopted plans applicable to the subject site.

Consistency with the PUD Section of the Code

This application is being pursued as a small-scale PUD. The provisions of Section 102-440 related to small-scale PUDs primarily state that the development would not be accommodated under the otherwise applicable standards and that the public benefits are at least commensurate with the degree of development flexibility granted and are addressed. Staff finds that the proposal generally strikes a reasonable balance in providing flexibility in exchange for a better overall project. The other provisions of this section pertain to the size and design of large-scale PUDs, which is not applicable.

Balance of Benefits and Flexibility

The applicant is seeking relief from the zoning provisions specified above. In general, staff finds that the requested deviations from the underlying standards are appropriately compensated for in the overall proposal.

Protect Surroundings

As noted in the conditional use permit review section, no material negative impacts on the immediate area are expected because of the proposed expansion.

ALTERNATIVES

1. Recommend approval of the proposed land use requests. By recommending approval, the City Council will consider a recommendation of approval which may include suggested conditions.
2. Recommend denial of the proposed land use requests. Should the Planning & Zoning Commission consider this option, it must also identify specific findings that support this alternative.
3. Continue for further information. If the Planning Commission indicates that further information is needed, the item should be continued.

CITY OF HOPKINS
Hennepin County, Minnesota

PLANNING & ZONING COMMISSION RESOLUTION 2023-13

**A RESOLUTION RECOMMENDING THE CITY COUNCIL APPROVE AN ORDINANCE
REZONING THE PROPERTY AT 412 5TH AVENUE NORTH FROM NX2, GENERAL
RESIDENTIAL MIX TO NX2 GENERAL RESIDENTIAL MIX WITH A PLANNED UNIT
DEVELOPMENT, AND APPROVE A RESOLUTION GRANTING PUD SITE PLAN
APPROVAL, SUBJECT TO CONDITIONS**

WHEREAS, the applicant, Augustana Land Development LLC, initiated an application requesting to rezone the property at 412 5th Avenue North (PID 24-117-22-12-0008) from NX2, General Residential Mix to NX2, General Residential Mix with a Planned Unit Development (PUD) and requesting approval of a PUD site plan, and

WHEREAS, this property is legally described in Exhibit A; and

WHEREAS, the procedural history of the application is as follows:

1. That the above stated application was initiated by the applicant on August 25, 2023; and,
2. That the Hopkins Planning & Zoning Commission, pursuant to published and mailed notice, held a public hearing on the application and reviewed such application on September 26, 2023; all persons present were given an opportunity to be heard; and,
3. That written comments and analysis of City staff were considered; and,

WHEREAS, staff recommended approval of the above stated application based on the findings outlined in the staff report dated September 26, 2023.

NOW, THEREFORE, BE IT RESOLVED that the Planning & Zoning Commission of the City of Hopkins hereby recommends the City Council approve an ordinance rezoning the property at 412 5th Avenue from NX2, General Residential Mix to NX2, General Residential Mix with a Planned Unit Development (PUD) and approve a resolution granting PUD site plan approval, subject to the conditions listed below.

1. Execution of a Planned Unit Development Agreement.
2. Approval of the associated conditional use permit to allow the proposed 88-bed Skilled Nursing Facility in the NX2, General Residential Mix zone and conformance with all related conditions.
3. Installation of two level 1 or level 2 electric vehicle charging stations, and provision of EV-ready capability in at least four additional stalls.
4. Installation of 15 bicycle parking stalls near the north main entryway meeting the requirements for short-term parking. Note: this would include a PUD deviation to the

requirement that would have otherwise required 13 of the 15 stalls to meet the long-term standards.

5. Modification and resubmittal of site plans to show the addition of a fence between the proposed building and the dwelling located to the south in compliance with the side and rear buffer standards.
6. Modification and resubmittal of site plans to reduce the width of the driveway opening from 24 feet to 22 feet.
7. Modification of plans or verification that the horizontal shadow lines at the top of the ground story meet the requirement to be provide said shadow lines along 80% of the front façade.
8. Submittal of building plans that demonstrate compliance with the requirement that 70% of all street facade upper story windows are operable.
9. Submittal of building plans that demonstrate compliance with the requirement that windows are recessed with the glass a minimum of 2 inches from the facade surface material or adjacent trim.
10. Submittal of building plans that demonstrate compliance with the requirement that commercial grade quality doors, windows, and hardware are used.
11. Submittal of building plans that demonstrate compliance with the requirement that shadow lines delineate changes in materials with a thickness that is greater than 1.5 inches.
12. Submittal of building plans that provide fencing details for the refuse and equipment enclosures in accordance with screening standards per Section 102-8140 of the Zoning Code.
13. The applicant shall demonstrate that the proposed outdoor generator cannot function inside or shall be otherwise required to locate the equipment inside.
14. Approval of the development by the Minnehaha Creek Watershed District and conformance with all related conditions.
15. Payment of all applicable development fees including, but not limited to SAC, park dedication and City Attorney fees.

Adopted this 26th day of September, 2023.

Andrew Wright, Chair

EXHIBIT A
Legal Description of subject property

Parcel 1:

The North 45.22 feet of the following described property:

All that part of the West one-half of the Northeast Quarter of Section 24, Township 117 North, Range 22 West of the Fifth Principal Meridian, described as follows, to-wit: Beginning on the East line of the Northwest Quarter of the Northeast Quarter of Section 24, Township 117, Range 22 at a point 1266.9 feet South of the Northeast corner of the Northwest Quarter of the North-East Quarter, thence South 554.7 feet to the North line of the Minnetonka Mills Road, thence Northwesterly along said line 531.92 feet, thence North and parallel with the East line of Northwest Quarter of the Northeast Quarter 340.4 feet, thence East 486.87 feet to the place of beginning, except the East 164 feet.

Being Registered land as is evidenced by Certificate of Title No. 458162.

Parcel 2:

The South 200 feet of the North 1266.9 feet of the East 486.87 feet of the Northwest quarter of the Northeast quarter of Section 24, Township 117, Range 22.

Being Registered land as is evidenced by Certificate of Title No. 166598.

CITY OF HOPKINS
Hennepin County, Minnesota

PLANNING & ZONING COMMISSION RESOLUTION 2023-14

**A RESOLUTION RECOMMENDING THE CITY COUNCIL APPROVE
A CONDITIONAL USE PERMIT TO ALLOW AN 88-BED SKILLED NURSING FACILITY IN
THE NX2 GENERAL RESIDENTIAL MIX ZONE
ON THE PROPERTY AT 412 5TH AVENUE NORTH, SUBJECT TO CONDITIONS**

WHEREAS, the applicant, Augustana Land Development LLC, initiated an application for a conditional use permit to allow an 88-bed Skilled Nursing Facility on property in the NX2, General Residential Mix zone at 412 5th Avenue North, and;

WHEREAS, this property is legally described in Exhibit A; and

WHEREAS, the procedural history of the application is as follows:

1. That the above stated application was initiated by the applicant on August 30, 2023; and,
2. That the Hopkins Planning & Zoning Commission, pursuant to published and mailed notice, held a public hearing on the application and reviewed such application on September 26, 2023: all persons present were given an opportunity to be heard; and,
3. That written comments and analysis of City staff were considered; and,

WHEREAS, staff recommended approval of the above stated application based on the findings outlined in the staff report dated September 26, 2023.

NOW, THEREFORE, BE IT RESOLVED that the Planning & Zoning Commission of the City of Hopkins hereby recommends the City Council approve a conditional use permit to allow an 88-bed Skilled Nursing Facility in the NX2, General Residential Mix zone at 412 5th Avenue North, subject to the conditions listed below.

1. Conformance with all the general performance standards in Section 102-590 of the Hopkins Development Code.
2. Approval of the associated rezoning application and execution of a Planned Unit Development (PUD) Agreement.
3. Approval of the associated PUD site plan and conformance with all related conditions.
4. Approval of all necessary permits from the Building, Engineering and Fire Departments.
5. Approval of the development by the Minnehaha Creek Watershed District and conforms with all related conditions.

6. Payment of all applicable development fees including, but not limited to SAC, park dedication and City Attorney fees.

Adopted this 26th Day of September, 2023.

Andrew Wright, Chair

EXHIBIT A
Legal Description of subject property

Parcel 1:

The North 45.22 feet of the following described property:

All that part of the West one-half of the Northeast Quarter of Section 24, Township 117 North, Range 22 West of the Fifth Principal Meridian, described as follows, to-wit: Beginning on the East line of the Northwest Quarter of the Northeast Quarter of Section 24, Township 117, Range 22 at a point 1266.9 feet South of the Northeast corner of the Northwest Quarter of the North-East Quarter, thence South 554.7 feet to the North line of the Minnetonka Mills Road, thence Northwesterly along said line 531.92 feet, thence North and parallel with the East line of Northwest Quarter of the Northeast Quarter 340.4 feet, thence East 486.87 feet to the place of beginning, except the East 164 feet.

Being Registered land as is evidenced by Certificate of Title No. 458162.

Parcel 2:

The South 200 feet of the North 1266.9 feet of the East 486.87 feet of the Northwest quarter of the Northeast quarter of Section 24, Township 117, Range 22.

Being Registered land as is evidenced by Certificate of Title No. 166598.

ZONING REVIEW: 412 5th Avenue North - Chapel View Skilled Nursing Facility - Cassia

Review Date: September 26, 2023

PROJECT DESCRIPTION:

Redevelopment of the existing 2.37-acre site containing an existing church structure. Proposed two-story 88 bed skilled nursing facility.

BASE ZONE:	NX2	PROPOSED USE:	Group Living (CUP required)
BUILDING TYPES ALLOWED:	General Building, Row Building, Traditional House	COMPREHENSIVE PLAN DESIGNATION:	General Urban (5-40 units/acre)
BUILDING TYPE SELECTED:	General Building	EXISTING USE:	Church
LARGE PUD REQUIRED?	No (Small-Scale PUD requested)	DEADLINE FOR ACTION	10/29/23 (60 days)

ZONING MAP



Review Key	
✓	Meets or exceeds regulation
N/A	Regulation does not apply
✗	Does not meet regulation
Cond.	Met per conditions
?	More Information Needed
PUD	PUD/Variance Deviation

ARTICLE 3 MIXED-USE ZONES

	Section of Code	Regulation	REVIEW NOTES
102-350 REGULATIONS APPLICABLE TO ALL BUILDING TYPES			
✓	102-350(a)	PERMANENT STRUCTURES	Structure is permanent.
✓	102-350(b)	ONE BUILDING PER LOT	one principal building proposed.
✓	102-350(c)	TREATMENT OF YARDS	All yards must consist of landscape areas, patio space, or sidewalk space, unless otherwise expressly stated
PUD	102-350(d)	TRASH, RECYCLING, REFUSE LOCATIONS	Trash, recycling, and other refuse areas must be located inside the building with access doors off the rear or interior side facade. An exterior refuse container enclosure is proposed to the south of the building. Applicant is requesting this as a deviation from the code
✓	102-350(e)	FRONT STREETS	5th Avenue N is the designated front street abutting this lot.
✓	102-350(f)	MINIMUM PEDESTRIAN AREA	Where the area from the back of curb/edge of pavement to the lot line is less than 12 feet, the setbacks shall be measured from 12 feet off the back of curb/edge of pavement.

102-380 GENERAL BUILDING TYPE REGULATIONS (RX-TOD Zone)

Section of Code	Regulation	REVIEW NOTES
102-380(d) BUILDING LOCATION		
✓	120-380(d) MULTIPLE PRINCIPAL BUILDINGS	Allowed; not proposed.
PUD	120-380(d) FRONT STREETWALL	75% min.; 120 ft along streetwall with 199'-10" lot frontage = 60% Applicant is requesting a deviation from this standard per the PUD.
✓	120-380(d) FRONT STREET SETBACK	10 ft. min, 25 ft. max. along 5 th Avenue N;
✓	120-380(d) NON-FRONT STREET SETBACK	10 ft. min., 25 ft. max.; No non-front setback
✓	120-380(d) SIDE SETBACK	5 ft. min; 5 ft proposed.
✓	120-380(d) REAR SETBACK	20 ft. min
✓	120-380(d) IMPERVIOUS SITE COVERAGE	60% max.
✓	120-380(d) ADDITIONAL SEMI-PERVIOUS COVERAGE	+15% - In addition to the 60% hardcover, 15% of the site may be semi-pervious, i.e. green roof, porous pavement, etc.
102-380(e) PARKING & ACCESSORY STRUCTURES		
✓	120-380(e) PARKING & DRIVEWAY ACCESS LOCATION	Off alley or non-front street; if no alley or non-front street exists or is planned, off front street is allowed; driveway off front street (5th Ave)
Cond.		22 ft maximum driveway width. Proposed at 24 ft. Staff recommends a condition requiring a revision reducing to the size of the driveway opening.
	120-380(e) DRIVEWAY SIZE & NUMBER	
✓		Max. 1 access per development per street. one street access shown.
✓	120-380(e) ATTACHED GARAGE SETBACK	Required 20 ft. min. behind front facade in rear of building; No structured/attached parking is proposed.
✓	120-380(e) ATTACHED GARAGE DOOR LOCATION	No structured/attached parking is proposed.
PUD	120-380(e) SURFACE PARKING	Allowed in Rear yard only; proposed in side and rear yard. Applicant is pursuing deviation from this standard per PUD.
✓	120-380(e) ACCESSORY STRUCTURES	No Accessory Structures proposed
120-380 (f) HEIGHT		
✓	120-380(f) HEIGHT	2 stories min, 5 stories max; Two stories proposed
✓	120-380(f) ALL STORIES HEIGHT	9 ft. min., 14 ft. max.; first level: 12' tall, second: ~10ft
120-380 (g) ROOFS		
✓	120-380(g) ROOF TYPES	Flat, parapet, pitched allowed; parapet depicted
✓	120-380(g) TOWER	A building tower is allowed, but not proposed
120-380 (h) STREET FACADES		
✓	120-380(h) TRANSPARENCY: FRONT FACADES	18% min; 28% (ground story) 27% (second story)
✓	120-380(h) TRANSPARENCY: NON-FRONT FACADES	18% min; West Elevation: 21% (ground story) 23% (second story) South Elevation: 18% (ground story) 21% (second story) North Elevation: 20% (ground story) 23% (second story)
✓	120-380(h) BUILDING ENTRANCE LOCATION	One per every 120 ft. on front façade; front façade is 120 ft. requiring one entrance. Proposed entrance with covered porch on front
✓	120-380(h) ENTRANCE TRANSITION TYPE	A Stoop entrance type is Required. See 102-730 (c)
✓	120-380(h) GROUND STORY ELEVATION	The ground story must be between 18 in. and 30 in. above

			grade or between 30 in. and 4 ft. with a visible basement, except in floodplain locations. Ground story is approximately 18 inches above finished grade.
Cond.	120-380(h)	HORIZONTAL DIVISIONS WITH SHADOW LINES	One division is required within 3 ft. of the top of any story between the basement and 3 rd . Horizontal shadow lines to run a min. 80% of length of facade. Horizontal shadow lines at the top of the ground story are short of the requirement (76%) recommend condition requiring revisions to the plans.
✓	120-380(h)	VERTICAL DIVISIONS WITH SHADOW LINES	One vertical division is required per every 120 ft. of street façade. Three projecting bays with shadow lines depicted on elevations.
102-380 (i) SUPPLEMENTAL GENERAL BUILDING REGULATIONS			
N/A			No street facing courtyard proposed
N/A	120-380(i)(1)	FRONT STREETWALL EXCEPTIONS	Maximum setback may be expanded up to 20 feet for a maximum of 20% of the facade to allow for permanent outdoor seating or outdoor dining area;
N/A	120-380(i)(2)	THROUGH-LOTS	Subject site is not a through lot.
✓	120-380(i)(3)	STORY SETBACKS AT N OR NX	facades abutting an N or NX zone above the 3 rd story must be stepped back a minimum of 12 feet from the lower facades. Property along 5 th Ave to the South is N-zoned; however, the proposed building is two stories.
N/A	120-380(i)(4)	VISIBLE BASEMENTS	For basement levels located more than 3 ft. above grade, street facades must meet the transparency regulations.
N/A	120-380(i)(5)	ADDITIONAL STORY HEIGHT (IX-TOD & IX-S)	N/A. Site is not zoned IX.

ARTICLE 7 BUILDING DESIGN

Section of Code	Regulation	REVIEW NOTES
102-720 PARAPET ROOF TYPE		
✓		Minimum parapet height is 1.5 feet with a maximum height of 6 feet; parapet is between 2 ft and 6 ft tall.
✓	102-720(c)(1)	PARAPET HEIGHT
✓		A shadow line must be located within 2 feet of the top of the uppermost story. A shadow line must be located at the top of the parapet. Shadow lines appear to be provided.
		See 102-16210 for definition of shadow line
✓	102-720(c)(2)	OCCUPIED BUILDING SPACE
		No portion of the parapet appears to include occupied building space
✓	102-720(c)(3)	ROOFTOP APPURTENANCES
		Any rooftop appurtenances must be located towards the rear or interior of the parapet roof. Rooftop appurtenances should be located such that the parapet blocks their view from the sidewalk across the street. Solar panels are an exception to this requirement. No other rooftop equipment is shown.
102-730 (c) STOOP ENTRANCE TYPE		
✓	102-730(c)(1)	STOOP SIZE
		Stoop is the required entrance type for the General Building Type in the NX2 Zone. A stoop is a small, open platform that may include a canopy or roof cantilevered off the

			building and may or may not be elevated above the sidewalk. Stoops must be a minimum of 4 feet wide and 3 feet deep. Proposed entrance appears to meet this requirement.
✓	102-730(c)(2)	RAMPS	Where feasible, ramps should be incorporated at the principal building entrance and designed as an integrated part of the stoop, with rails matching any provided on steps. No ramp is depicted for the at grade entrance.
102-740 FAÇADE MATERIALS			
✓	102-740(b)	MAJOR STREET FACADE MATERIALS	Allowed major façade materials are listed in Table 7-1 for General Building Type in the NX2 Zone: Full Dimension brick, and natural stone. Brick used as major material.
✓	102-740(b)(1)	STREET AND OTHER FRONT FACADES	Major materials must be applied to a minimum of 65% of all street or other front facades, not including window and door areas. 65% of street front façade proposed as brick.
✓	102-740(b)(2)	SIMPLICITY OF FACADE MATERIALS	A single major façade material must be used for each building façade segment, 60-foot or larger. Entire 120 ft of front façade uses brick as major material.
✓	102-740(b)(4)	SIDE AND REAR FACADES	When side yards between two buildings are a total of 5 or more feet in width, major materials must be applied along that side facade from the front of the building a distance equal to the width of the side yard, as measured perpendicularly between the two side facades. Requirement met for 88 ft along north façade, and 20 ft along south façade.
N/A	102-740(b)(5)	ORIGINAL FACADE MATERIALS	Applicable to modifications of existing buildings with brick or stone facades. N/A to this site.
✓	102-740(c)	MINOR STREET FACADE MATERIALS	A maximum of 35% of each street or other front façade surface, not including window and door areas, may be composed of minor facade materials. Fiber cement panels used as is allowed.
✓	102-740(d)	SIDE & REAR FACADE MATERIALS	All interior side and rear (non-street) facades not located on a rail or trail line must be faced in a major facade material, a minor facade material, or a material as allowed in Table 7-3. Brick and fiber cement panels used on side and rear as is allowed.
Cond.	102-740(f)	APPROPRIATE GRADE OF MATERIALS	All doors, windows, and hardware must be of commercial grade quality. Will need to be verified at time of building permit approval.
✓	102-740(g)(1)	CHANGES IN FACADE MATERIALS	Changes in façade materials, whether major materials or minor materials, should occur mainly at concave corners or changes in facade planes.
✓	102-740(g)(2)	MATERIALS HIERARCHY	A hierarchy of materials must be maintained on the building facade, where "heavier", articulated unit materials (brick, concrete masonry units, stone) are located at the base of the facade and "lighter", constant surface materials with fewer seams (stucco, panels) are located above those on the façade. Proposed elevations are arranged with this hierarchy.
Cond.	102-740(g)(3)	SHADOW LINES ON SURFACES	Shadow lines must delineate changes in materials with solid materials of a thickness that is greater than 1.5 inches, such as cast stone, masonry, or stone. Detail will need to be verified at time of building permit.
102-750 FACADE ELEMENTS			

			<p>Cond.</p> <p>✓</p> <p>✓</p>	<p>All windows, with the exception of ground story storefront systems and glass curtain wall systems, shall be recessed with the glass a minimum of 2 inches from the facade surface material or adjacent trim. Detail will need to be verified at time of more detailed architectural plans are prepared.</p> <p>A minimum of 70% of street façade windows must be vertically oriented. All windows are vertically oriented.</p> <p>Reflective glass and glass block are prohibited on street and other front facades. None shown.</p>
	102-750 (b)	WINDOWS	<p>Cond.</p> <p>✓</p>	<p>A minimum of 70% of all street facade upper story windows must be operable. Ground story storefront glass and glass curtain wall systems are not required to be operable. Detail will need to be verified at time of more detailed architectural plans are prepared.</p> <p>For masonry construction, the expression of lintels must be included above all windows and doors by a change in brick coursing or by a separate detail or element. All windows inset in brick has expressed lintels.</p>
	102-750(c)	AWNINGS & CANOPIES	<p>Cond.</p>	<p>Awnings or canopy shall provide at least 8 feet of clearance over any walkway and 15 feet of clearance over vehicular areas. Canopies at building entrances have clearances of 10 ft. The vehicle canopy at north entrance proposed at a clearance of 14 ft. Staff recommends a condition that the plan be revised to increase the clearance height.</p>
	102-750(d)	BALCONIES	<p>N/A</p>	<p>Balconettes are allowed and do not count towards the maximum permitted amount of balcony on a street facade. A balconette is a platform and door that are less than 18 inches deep. Otherwise, balconies must be a minimum of 4 feet deep and 5 feet wide.</p>
	102-750(e)	SHUTTERS	<p>N/A</p>	<p>Any shutters must meet size and material requirements. No shutters depicted.</p>
	102-750(f)	SECURITY GRILLS & BARS	<p>N/A</p>	<p>Exterior security bars and grills are prohibited. Interior grills must be retractable and hidden when retracted. None Shown.</p>
	102-750(g)	PRINCIPAL ENTRYWAY	<p>✓</p>	<p>Principal entrances to the building must be clearly delineated through one or more design features in Section 102-750(g). Depicted front entry has a canopy and transom/sidelight windows.</p>
	102-750(h)	ARCADE DESIGN	<p>N/A</p>	<p>No Arcade proposed.</p>
	102-750(i)(2)	GROUND STORY AT SLOPING FACADES FOR NON-STOREFRONTS	<p>N/A</p>	<p>Retaining walls shall not exceed 30 inches in height except along a maximum 8-foot section of frontage. No retaining walls</p>
	102-750(j)	BUILDING VARIETY	<p>✓</p>	<p>buildings 90 feet in length or greater, as measured along any street or front facade, must treat that frontage in segments of 50 feet or less with the building variety standards in 102-750 (j)(3).</p>
	102-750(k)	ARTICULATION OF STORIES	<p>✓</p>	<p>Window placement on street facades must be organized by stories per the transparency regulations. Windows are arranged by floor.</p> <p>Shadow lines can be used to delineate stories.</p>
	102-750(l)	VISTAS	<p>N/A</p>	<p>Vistas (an open space or a street terminating) are not present</p>

			at this site
✓	102-750(m)	GARAGE DOORS	Requirements are applicable to garage doors included on any street facade. No garage doors proposed on street facades.

102-760 UTILITY EQUIPMENT

Cond.	102-760(b)	MECHANICAL EQUIPMENT IN BUILDING	Mechanical equipment shall be located within the building, unless the applicant demonstrates that locating the equipment within the building would conflict with the equipment's function. Back-up generator is proposed on the exterior. The applicant will need to demonstrate that the equipment cannot function inside or move it inside.
✓	102-760(c)	ROOFTOP MECHANICAL EQUIPMENT	Any rooftop mechanical equipment, not including solar panels or wind turbines, is to be screened or setback from the street facade. Beside solar panels, no other rooftop equipment is shown.
✓	102-760(d)	MECHANICAL EQUIPMENT ON STREET FACADES	Mechanical equipment and utility appurtenances shall not be located on a street facade unless the applicant demonstrates that locating the equipment in a different location would conflict with the equipment's function. Any equipment or appurtenance approved on a facade shall be located consistent with the standards of this section. No mechanical equipment proposed on street façade.
✓	102-760(e)	MECHANICAL EQUIPMENT ON OTHER HORIZONTAL FACADES	Mechanical equipment, such as electrical transformers and air conditioners, located on the ground, decks, or horizontal surfaces other than the roof shall be located consistent with the standards of this section. No such equipment is shown.

ARTICLE 8 LANDSCAPE & SITE DESIGN

	Section of Code	Regulation	REVIEW NOTES
✓	102-810(b)	VISIBILITY AT INTERSECTIONS	At street intersections a 30 ft by 30 ft vision triangle, free from walls, fences, plants, or trees in excess of 30 inches above the abutting curb line shall be provided. The site is not at a street intersection.
✓	102-820	LANDSCAPE INSTALLATION	Notes to follow the specified landscape installation regulations are on submittal drawings.
Cond.	102-830	LANDSCAPE MAINTENANCE	The owner is responsible for the maintenance, repair, and replacement of all landscaping required by code. Ongoing compliance is required as a condition of approval.
✓	102-840	EXISTING TREES	A survey of existing trees on the site is required, which is to include identification of significant and contributing trees. 49 of the 62 trees would be removed. 53 new trees are proposed.
✓	102-850	GROUND VEGETATION	Tree protection during construction is required. All unpaved areas of any lot in any other zone must be covered by planting bed per 102-850 (b) or grass per 102-850 (c) or a combination of planting bed and grass. Unpaved areas are proposed as planting bed or grass.
✓	102-860	SITE TREES	One medium or large tree is required per 3000 square feet of yard area. Site contains 60,500 sf of yard area, requiring 20 trees. 53 med/lrg trees proposed.

✓	102-870	STREETSCAPE DESIGN	The requirements of this section apply to development of new streets and development on all lots with 200 feet or more of street frontage on existing streets or the City may assess a fee-in-lieu of streetscape for deposit in the city's streetscape fund. The passive streetscape standards are applicable in this location, which require sidewalk (provided) and street trees (also provided).
✓	102-880	STREET SIDEWALKS	Sidewalks or multi-use paths must be provided along all street frontages, located within the public right-of-way. Sidewalk along 5th Ave is required and provided.
✓	102-890	INTERNAL SITE SIDEWALKS	Sidewalks must connect between all building entrances to all public sidewalks, including at least one connection to each street-frontage sidewalk abutting the site. Sidewalk connections are provided from all entrances to public sidewalks.
✓	102-8100	STREET TREES	Each lot is required to have one tree for every 40 feet of street frontage with a minimum of one street tree per street frontage, and must be located between the curb and sidewalk, a minimum of 2 feet and a maximum of 10 feet off the back of curb. The site has 200 ft of frontage so 5 street trees are required. Four large trees and two small trees are proposed along the street frontage.
✓	102-8110	FRONTAGE BUFFERS	A frontage buffer is required when on-site vehicular parking, loading, outdoor storage, and/or other activities abut the street. No parking, loading or storage proposed in areas abutting the street.
Cond.	102-8120	SIDE & REAR BUFFERS	A side and rear buffer is required along the side and rear lot lines where transitions between certain zones occur. A light buffer is required between the site and the N-zoned property immediately to the south along 5 th Ave. The required distance and plantings are provided; however, a fence must also be installed.
✓	102-8130(d)	REQUIRED LANDSCAPE ISLANDS	Landscape islands are required at the terminal ends of rows of parking; and within each row of parking an island is required every 9 th stall. Islands must be at least 5 feet in width and contain one medium or large shade tree. These standards are met.
✓	102-8130(d)	REQUIRED LANDSCAPE ISLANDS: TREE REQUIREMENTS	50-foot Rule. Each parking space must be located within 50 feet of a tree planted within the parking lot interior. All stalls are within 50 feet of a tree.
✓			5-Space Rule. For parking lots with more than 40 spaces, a minimum of 1 shade tree for every 5 parking spaces must be planted within the parking lot interior or within 4 feet of the parking lot's edge. 41 Parking stalls are provided and 20 are in islands or within 4 feet of the parking lot edge.
✓			Buffer Trees. Trees within any required buffer area may not be utilized to meet these requirements. Non of the side buffer tree are counted towards this requirement.
✓			Shading Requirement. At maturity, tree canopies must shade a minimum of 30 percent of the interior of the parking lot.
Cond.	102-8140	SCREENING OF REFUSE & UTILITY AREAS	All dumpsters, loading areas, open storage, refuse areas, mechanical equipment, and utility appurtenances must be screened. The height of the screen wall must be tall enough

			to screen the use inside, and a minimum of 6 feet. Openings visible from the public way or adjacent properties must include opaque gates. Proposed refuse container area and generator area enclosed by fencing. Details would need to be verified at time of building permit.
✓	102-8150	OUTDOOR LIGHTING	Where outdoor lighting is proposed, outdoor lighting plans demonstrating compliance with the standards of this section are required with the submittal of a site plan. Applicants have 2 options for the format of the required lighting plan: Option 1. Submit a lighting plan that complies with the maximum fixture heights of 102-8150 (d); or Option 2. Submit a photometric plan demonstrating that compliance will be achieved using taller fixture heights, in accordance with 102-8150 (e). All fixtures would comply with the maximum height limits (16 ft in most areas of the site).

ARTICLE 9 PARKING & MOBILITY

	Section of Code	Regulation	REVIEW NOTES
✓	102-920	OFF-STREET PARKING – MOTOR VEHICULAR MINIMUMS & MAXIMUMS	Minimum for Group Living: 1 stall per 6 beds No Maximum; 88 beds require 15 stalls. 41 stalls are proposed on site.
N/A	102-940	PARKING REDUCTIONS & CREDITS	Applicant can pursue a reduction in vehicle parking per Alternative Compliance per Section 102-940 (i)
✓	102-950	LOCATION OF OFF-STREET PARKING	Except as otherwise expressly stated in this article, required off-street parking areas must be located on the same lot as the building or use they are required to serve.
✓			Parking areas must be designed to allow vehicles to enter and exit a street and cross public sidewalks in a forward motion
✓	102-960	PARKING AREA LAYOUT & DESIGN	Parking areas must be so designed and constructed that parked vehicles are set back at least one foot from lot lines and at least 2 feet from principal buildings. This standard is met.
✓			All open off-street parking areas must provide a 6-inch curb or approved wheel barrier when abutting required setbacks, landscape areas and adjoining property lines. Curb is provided around parking area perimeter.
✓			Parking stalls may be standard or compact. Stalls meet standard stall requirements at 9’x18’.
Cond.	102-970	ELECTRIC VEHICLE SUPPLY EQUIPMENT	Proposal includes residential off-street parking areas with 41 Parking Spaces. Requires Level 1 or Level 2 electric vehicle charging stations for at least 5% of provided parking spaces . At least one of the electric vehicle charging stations provided must be accessible to a vehicle parked in an accessible parking space. Two EV charging stations are required.
Cond.			An additional 10% of the spaces must be EV-ready. Four

<p>PUD / Cond.</p>	<p>102-920</p>	<p>OFF-STREET PARKING – BICYCLE MINIMUMS</p>	<p>additional stalls must be EV-ready. Details would need to be verified at time of building permit.</p> <p>Minimum for Group Living: 1 stall per 6 beds. With 90% as long-term. 88 beds require 15 stalls (13 as long-term). Staff recommends modifying this requirement via the PUD to require the 15 parking stalls near the north side main entry preferably within the covered area.</p>
<p>N/A</p>	<p>102-990</p>	<p>BICYCLE PARKING</p>	<p>See note above.</p> <p>Short-term bicycle parking must be located on the subject lot, unless the city approves a proposal to allow private bicycle parking facilities to be located in the right-of-way.</p> <p>Long-term bicycle parking spaces must:</p> <ul style="list-style-type: none"> – Be located with direct access by the bicycle rider, with no more than 50% of the required spaces requiring the use of stairs or elevators; – May not be located in dwelling units or on dwelling unit balconies; – Must protect the entire bicycle, its components and accessories against theft and inclement weather, including wind-driven rain and snow. – Must be designed to allow bicycles to be securely locked to a bicycle rack in: A bike storage room that is accessible only to authorized users and has at least 2 electrical outlets; or a bicycle locker with a separate access door for each bike; or an attended bike storage room.



Memorandum

SRF No. 16743

To: Ryan Krzos
City of Hopkins

From: Tom Sachi, PE, Project Manager
Ashley Sherry, EIT, Traffic Engineer I

Date: September 20, 2023

Subject: 412 5th Street Transportation Study; Hopkins, Minnesota

Introduction

As requested, SRF has completed a traffic study for the proposed development at 412 5th Avenue N in Hopkins, Minnesota. The proposed development is generally located in the northwest quadrant of the Minnetonka Mills Road and 5th Avenue N intersection (see Figure 1: Project Location). The main objectives of the study are to perform a trip generation estimate and evaluate the expected travel behavior of the site. The following information provides the assumptions, analysis, and recommendations offered for consideration.

Existing Conditions

Existing conditions were reviewed to establish a baseline to identify any future impacts associated with the proposed development. The evaluation of existing conditions includes a review of traffic volumes and intersection characteristics, which are summarized in the following section.

Data Collection

Weekday a.m. and p.m. peak period vehicular turning movement and pedestrian/bicyclist counts were collected by SRF during the week of May 29, 2023, at the following study intersections:

- Minnetonka Mills Road and 7th Avenue N
- Minnetonka Mills Road and 6th Avenue N
- Minnetonka Mills Road and 5th Avenue N
- 5th Avenue N and Existing Site Access

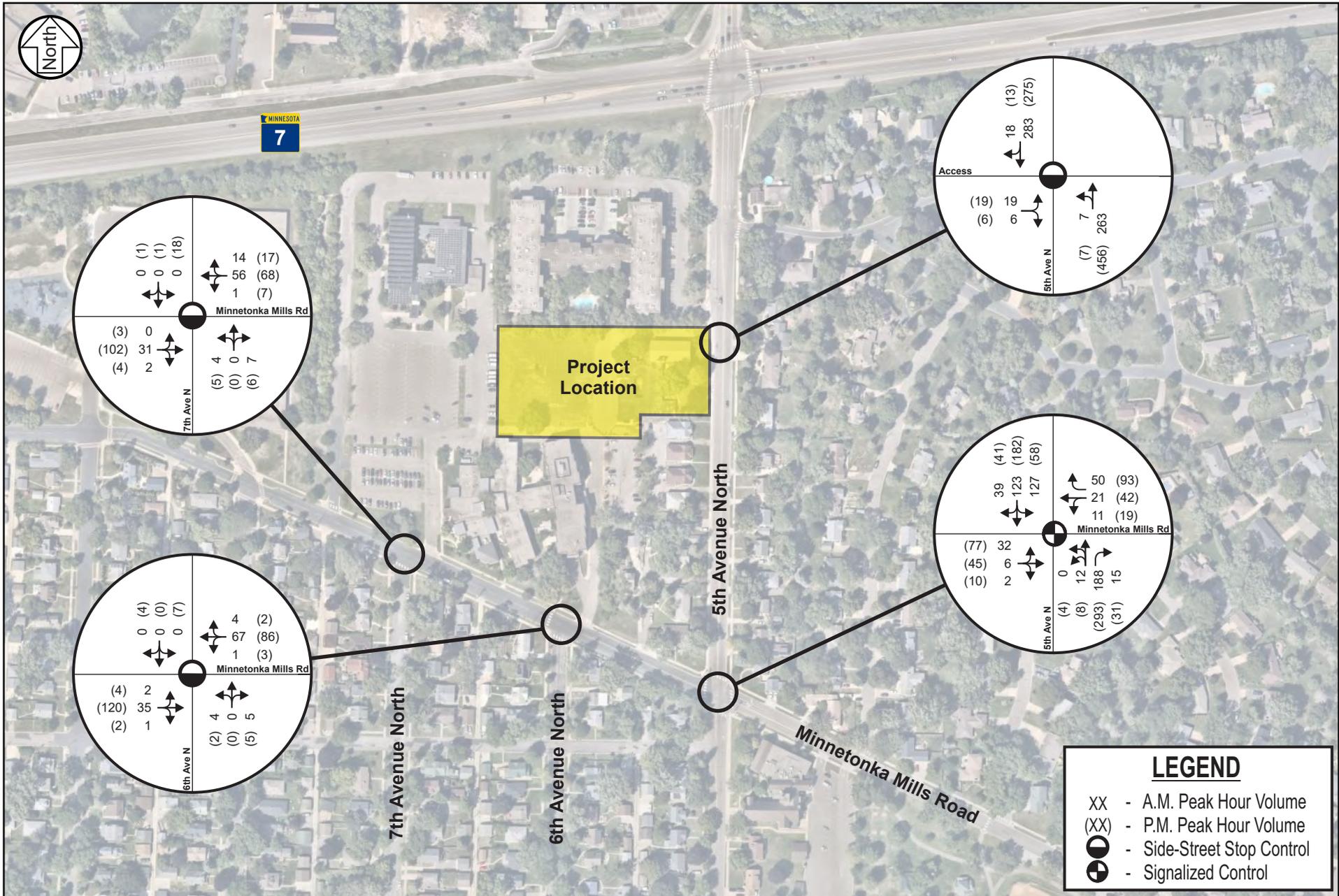
From a traffic control perspective, the Minnetonka Mills Road/5th Avenue N intersection is signalized, whereas the other three (3) study intersections are unsignalized and uncontrolled. Existing geometrics, traffic controls, and traffic volumes in the study area are shown in Figure 2.



Project Location

412 5th Street Traffic Review
City of Hopkins

Figure 1



Proposed Development

The proposed development is generally located in the northwest quadrant of the Minnetonka Mills Road and 5th Avenue N intersection. The proposed development consists of an 88-bed skilled nursing facility. Access to the site will be provided at the existing access locations along 5th Avenue and Minnetonka Mills Road. A preliminary site plan for the proposed development is illustrated in Figure 3. The development is anticipated to be constructed by the year 2025.

Proposed Development Trip Generation

To account for traffic impacts associated with the proposed development, a trip generation estimate for the proposed development was completed for the a.m. and p.m. peak hours and on a daily basis. The estimate, shown in Table 1, was developed using the *ITE Trip Generation Manual, 11th Edition*.

Table 1. Proposed Development Trip Generation Estimate

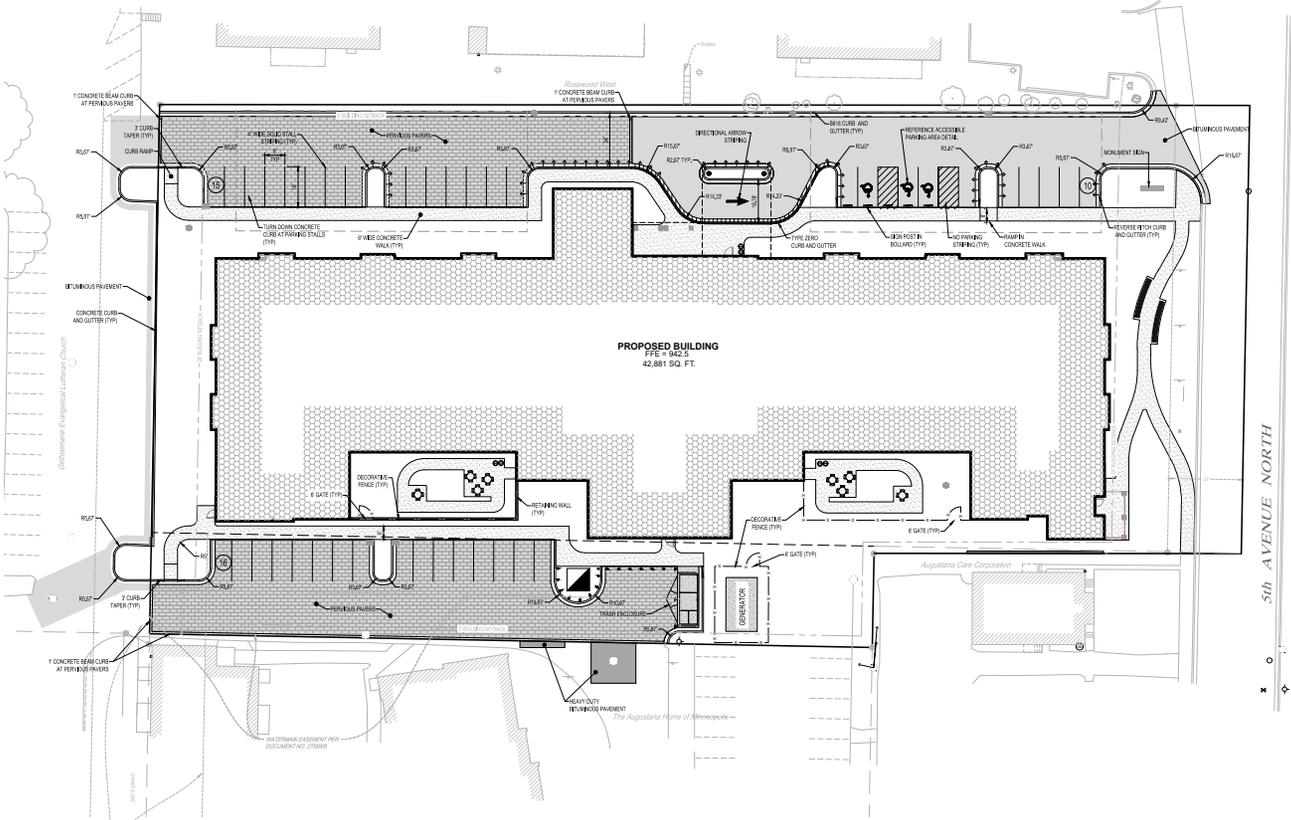
Land Use Type (ITE Code)	Size	A.M. Peak Hour		P.M. Peak Hour		Daily Trips
		In	Out	In	Out	
Nursing Home (620)	88-Beds	9	3	4	8	269

Results of the trip generation estimate indicate that the proposed development is expected to generate approximately 12 a.m. and p.m. peak hour trips and 269 daily trips. The trips generated were distributed throughout the area based on the directional distribution shown in Figure 4, which was developed based on existing travel patterns and engineering judgement. For reference, the site generated trips for the proposed nursing facility development are shown in Figure 5 to help understand expected travel patterns for the development. Based on this level of trip generation, the adjacent roadway network can support the proposed development and no capacity improvements are expected to be needed.



SITE SUMMARY		%
SITELOT AREA:	19,979 SF ± 2.0 (AC)	
SEVELOF AREA (EXCLUDING 5TH STREET FRONTAGE)	10,766 SF ± 2.43 (AC)	
EXISTING IMPERVIOUS:	7,527 SF ± 1.72 (AC)	71
PROPOSED IMPERVIOUS:	63,802 SF ± 1.45 (AC)	60
PERVIOUS PAVERS	19,227 SF ± 4.25 (AC)	14

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	HEAVY DUTY BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE WALK
	REVERSE PITCH CONCRETE CURB AND GUTTER
	TYPE 2/30 CURB AND GUTTER
	PERFORATED PAVERS
	CONCRETE BEAM CURB



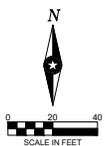
I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 REESE A. SUDELGIST
 DATE: 10/10/2023
 LIC. NO.: 542843

PROJECT
**CASSIA
 CHAPEL VIEW
 CARE CENTER
 07-10-2023 SD
 PRICING SET**
 HOPKINS MINNESOTA

DATE	REVISION SCHEDULE	BY
07/02/2023	SD PRICING SET	SR

PROJECT NO: 23-29200
 FILE NAME: 30302.CDR
 DRAWN BY: SJK/TWR
 DESIGNED BY: SJK/TWR
 REVIEWED BY: NAG
 ORIGINAL ISSUE DATE: 07/02/2023
 CLIENT PROJECT NO: ...

TITLE
SITE PLAN



SHEET
C3-10



Site Plan
 412 5th Street Traffic Review
 City of Hopkins

02316743
 September 2023

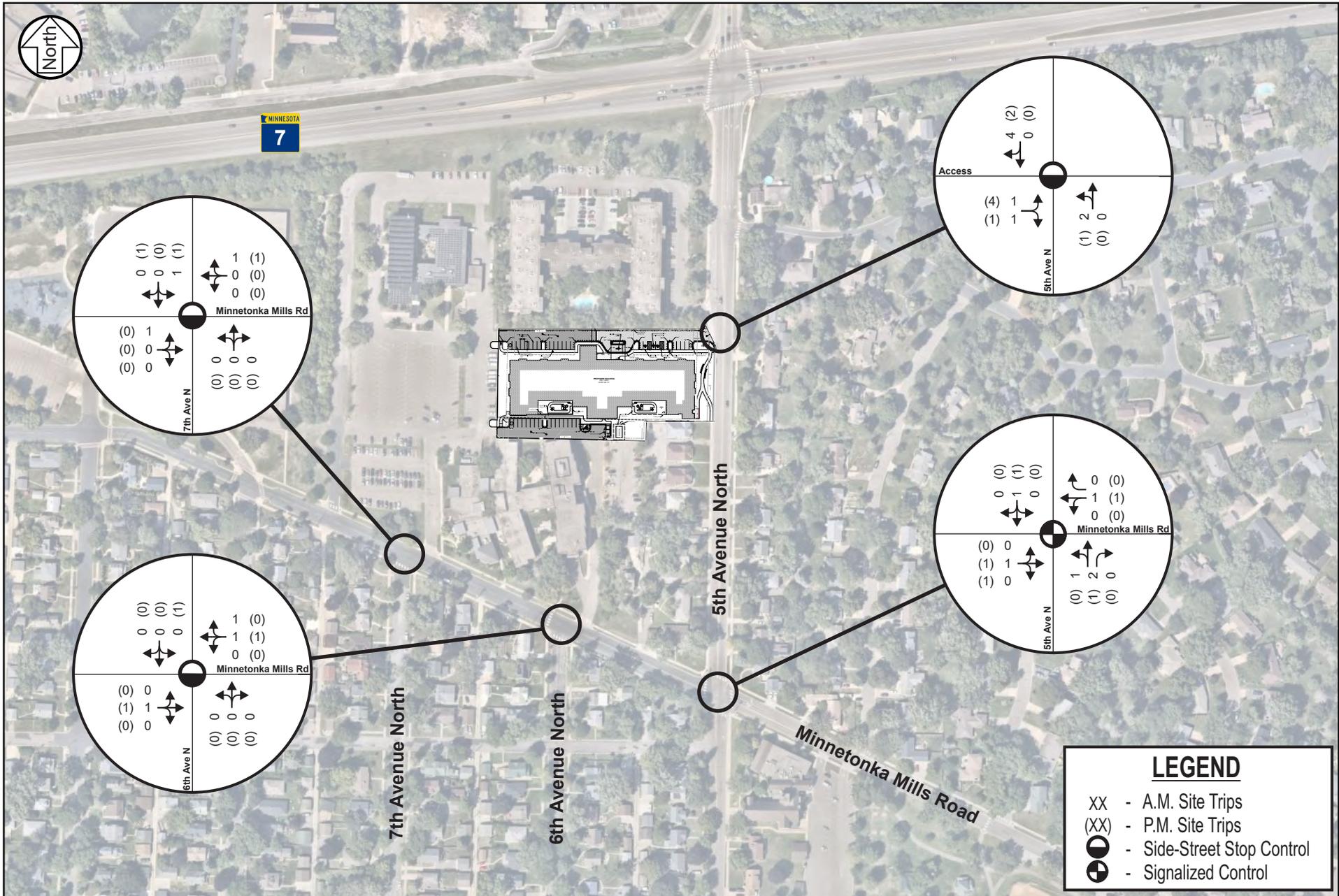
Figure 3



Directional Distribution
 412 5th Street Traffic Review
 City of Hopkins

02316743
 September 2023

Figure 4



Site Plan Review

A review of the proposed site plan was completed to identify any issues and recommend potential improvements for consideration with regard to intersection access, circulation, sight distance, traffic controls, and multimodal facilities. In general, the following should be considered when designing internal traffic control and access roadways:

1. Incorporate traffic controls, signing, and striping based on guidelines established in the *Manual on Uniform Traffic Control Devices* (MUTCD).
2. Special consideration should be made to limit any sight distance impacts from future structures, landscaping, and signing.

Summary and Conclusions

The following study conclusions and recommendations are offered for consideration:

- 1) The proposed development is expected to consist of an 88-bed skilled nursing facility. Access to the site will be provided at the existing access locations along 5th Avenue and Minnetonka Mills Road.
- 2) The proposed development is expected to generate approximately 12 a.m. and p.m. peak hour trips and 269 daily trips.
- 3) Based on this level of trip generation, the adjacent roadway network can support the proposed development and no capacity improvements are expected to be needed.

AUGUST 25, 2023

Ryan Krzos
Planner – Community Development
1010 1st St S
Hopkins, MN 55343
rkrzos@hopkinsmn.com



RE: PROJECT NARRATIVE
CASSIA CHAPEL VIEW HOMES - HOPKINS, MN

Ryan,

Thank you for reviewing the following PUD and Operational Narrative, along with the applications and plans for the Cassia Chapel View Care Center project. The site location is currently zoned NX-2, and we are requesting a PUD to allow for the potential variance on the following: Side Yard Parking, Exterior Trash Enclosure, and Building Frontage. Cassia will also consider the solar rooftop and pocket park on the east side in exchange.

PROJECT DESCRIPTION

Cassia is proposing to design a new skilled nursing facility located adjacent to their existing Chapel View campus on a 2.4-acre parcel in Hopkins, MN. The new location is the current MIZPAH Church property. This new development will allow Cassia to relocate their current residents and staff to a brand new, state of the art, facility while continuing to serve the Hopkins community. The current nursing facility is a split-level with a maze of ramps and stairs creating significant barriers for residents to move independently throughout the place they call home. The new development proposed will be a true 2-story facility with small basement. This will allow the residents to live within established neighborhoods and have independent access to day rooms, activity areas, and dining rooms without the requirement of staff assistance, ramps, gates, or elevators. The staff will serve 88 residents, down only four from the current location. It is Cassia's intent to have all of the estimated 170 current employees from the existing location relocate to the new building upon its completion and licensure. The proposed design paired with outstanding staff will make this project the location of choice for those needing these services in the west metro.

Similar to the existing site, the new property will rely on outside services for operation including garbage, recycling, food, medical supplies, and oxygen. These services would continue to make the same number of trips throughout the week on the same schedule since the new delivery location is only a short distance, approximately 300', from the currently operating facility. Like the current location along Minnetonka Blvd., the new location will operate 24 hours a day, 7 days a week.

Unit Mixes

1st Floor

- 40 – SC 1 rooms at 348 sf
- 02 – SC 2 rooms at 565 sf

2nd Floor

- 40 – SC 1 rooms at 348 sf
- 02 – SC 2 rooms at 565 sf

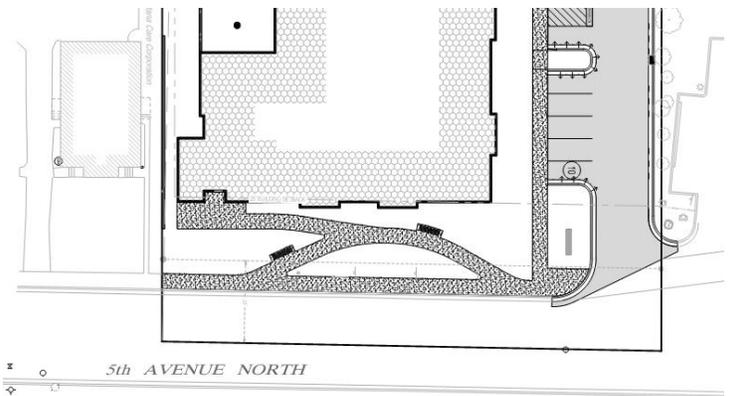
Parking Code

Surface parking made up of 41 stalls that will be provided on site, as well as a pickup/drop off canopy for transit needs. Parking will be located on the North and South sides of the facility. The comfort and convenience of Cassia's residents is of top priority, and close lobby access for transportation assistance is important.

SITE FEATURE & AMENITIES

The overall aesthetic of the site is to incorporate traditional architectural elements with an integrated landscape plan. This new community will house 80 private studio rooms and four shared units with private bedrooms, administrative spaces, nursing and care base stations, common gathering spaces, a central commercial kitchen with neighborhood dining halls, a community room, physical therapy and occupational therapy, up to four spas, barber/beauty space, storage, med rooms, as well as open circulation throughout the facility for ease of access to all spaces.

The main level dining and gathering spaces will have immediate views and access to private courtyards. The courtyards will offer serene walking paths, gardens and areas of shade and rest. A pocket park with a meandering path and public benches will add a unique connection to the community as well as a place of restoration for those passing by, residents and visitors. The building roof will also provide solar panels to add a wonderful sustainability feature to this development.



LANDSCAPING

The overall landscape plan will offer many distinctive features including shade, color, structure, and screening. A traditional minimal maintenance planting plan consisting of native deciduous and evergreen plantings that will compliment architectural features and enhance new spaces.

A tree inventory is provided documenting size and condition of existing site trees. Due to site alterations and plans a number of existing trees will need to be removed. A total of 49 in total. These include both significant and contributory trees. Total caliper inch of significant trees to be removed is equal to 547" caliper inches, while contributory trees is equal to 211" caliper inches. This requires a caliper replacement of new trees equal to 1,851" caliper inches. The caliper replacement is above and beyond what is practical for the site. We will be looking to contribute to the City Tree Planting Fund with an agreed upon sum between all parties. 54 new site trees are proposed. 46 native deciduous trees at 2.5" caliper with 8 ornamental trees at a minimum of 6' height.

Site drainage and grading will consider overall site features (existing and proposed) ensuring all elements work together to create an effective drainage plan. Pervious pavement will be included in strategic areas across the site to aid in effective site drainage. A small infiltration basin will be used to capture water on site.



Thank you for your consideration of this project. On behalf of Cassia, we look forward to collaborating with you on this development to aid Cassia with the relocation of their facility and for the ability to better serve the residents at Chapel View Care Center. Please contact me at 507.387.6651 or via email at Emily.Nepp@ISGInc.com with any questions or if there is any additional information we can provide in support of this project.

Sincerely,

A handwritten signature in black ink that reads 'Emily Nepp' in a cursive script.

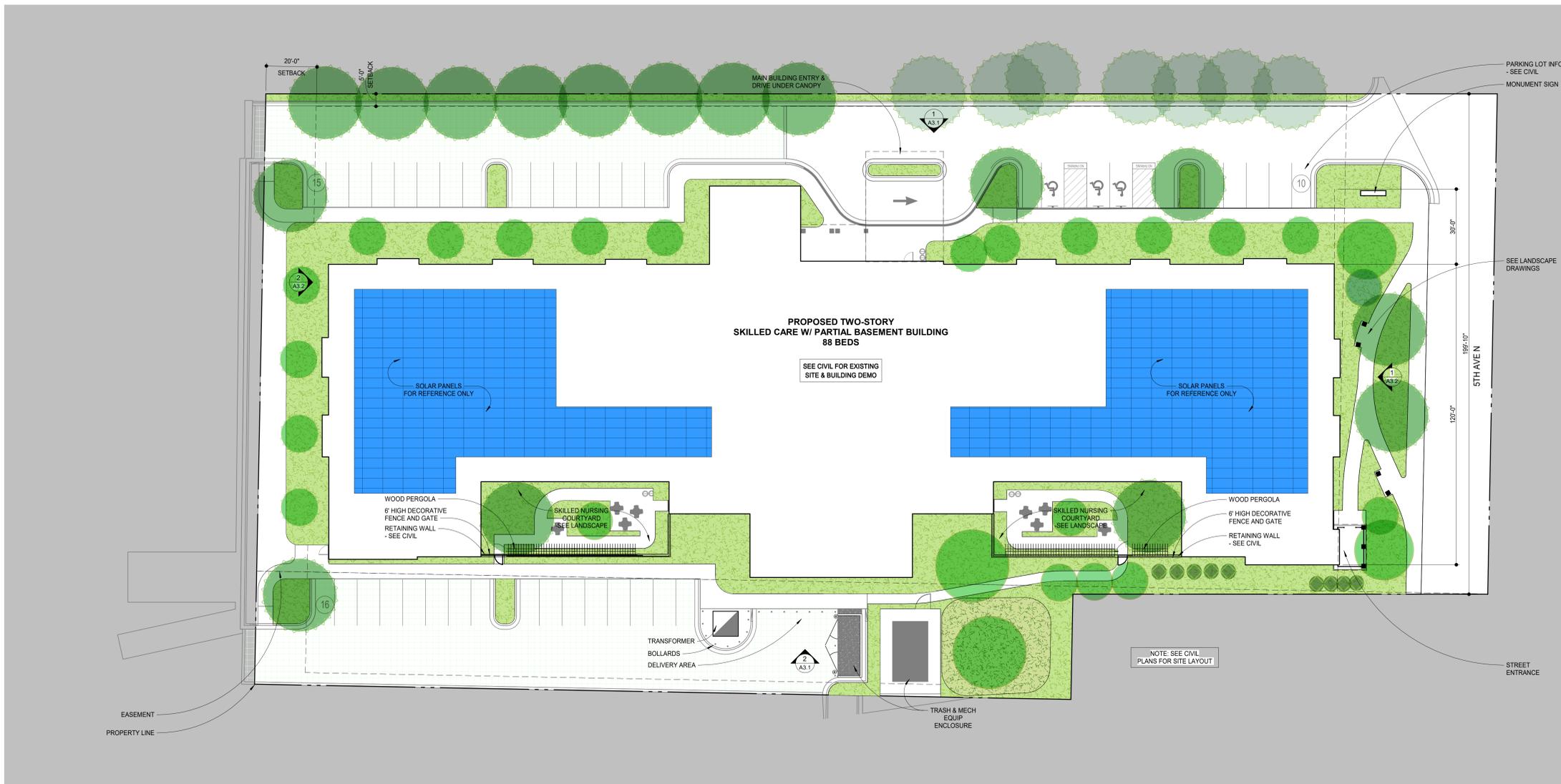
Emily Nepp

Development Services Coordinator

Emily.Nepp@ISGInc.com



NOT FOR CONSTRUCTION



1 ARCHITECTURAL SITE PLAN
A1.1 1" = 20'-0"

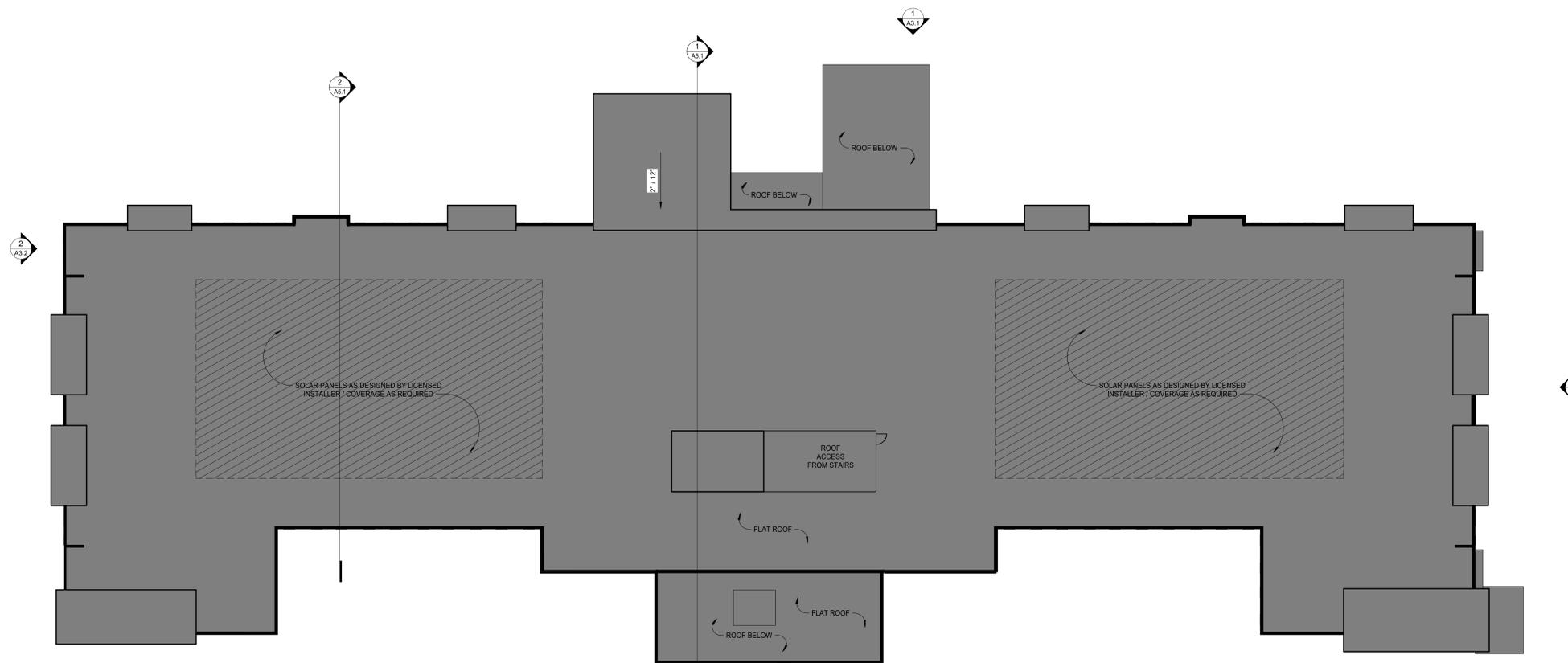


ARCHITECTURAL
SITE PLAN

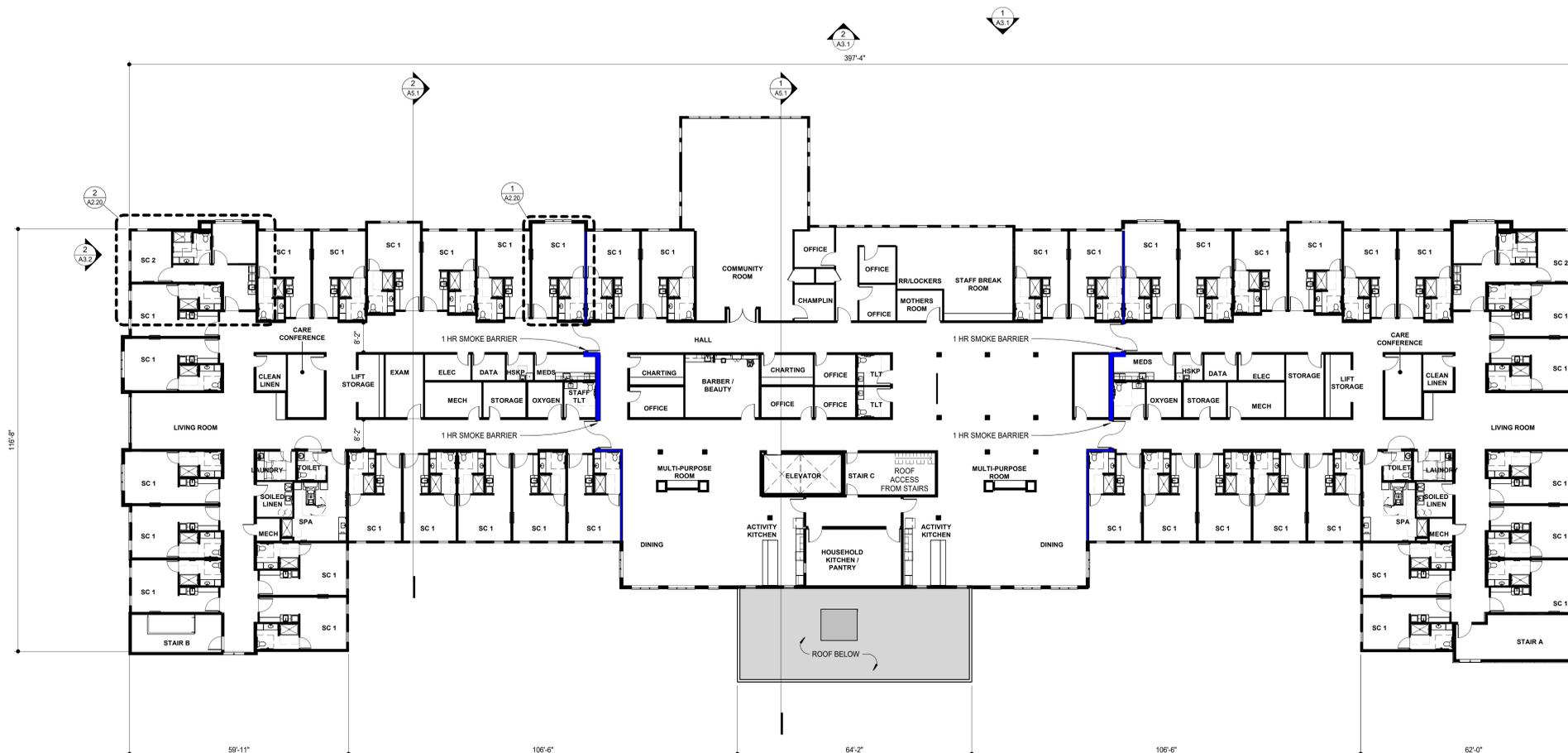
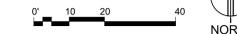
ISSUES & REVISIONS	DATE
1 Addendum 1	07/14/2023

COMMISSION NO:	11773-23069
DRAWN BY:	AL
CHECKED BY:	AM

SHEET
A1.1



2
A2.2
ROOF PLAN
1/16" = 1'-0"



1
A2.2
SECOND LEVEL FLOOR PLAN
1/16" = 1'-0"



NOT FOR CONSTRUCTION

SECOND LEVEL
FLOOR PLAN &
ROOF PLAN

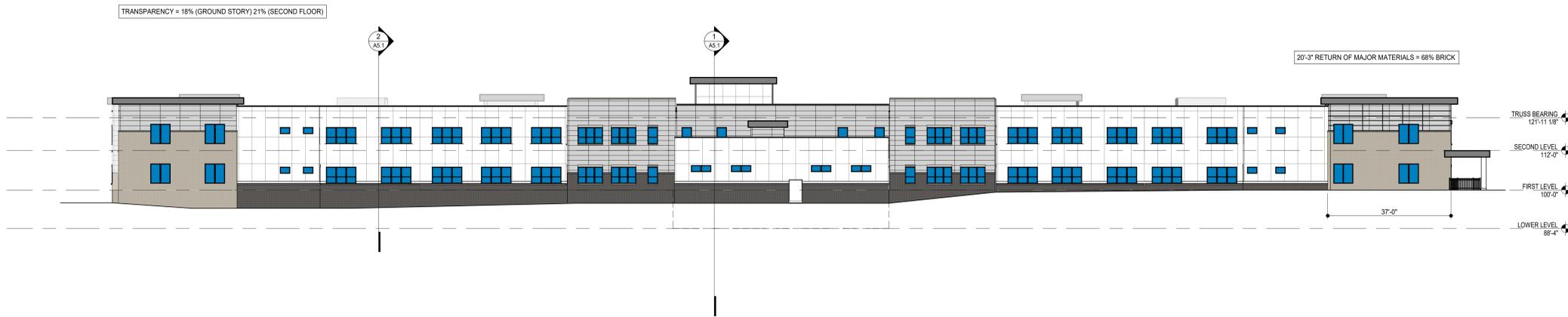
ISSUES & REVISIONS	DATE
1 Addendum 1	07/14/2023

COMMISSION NO:	11773-23069
DRAWN BY:	AL
CHECKED BY:	AM

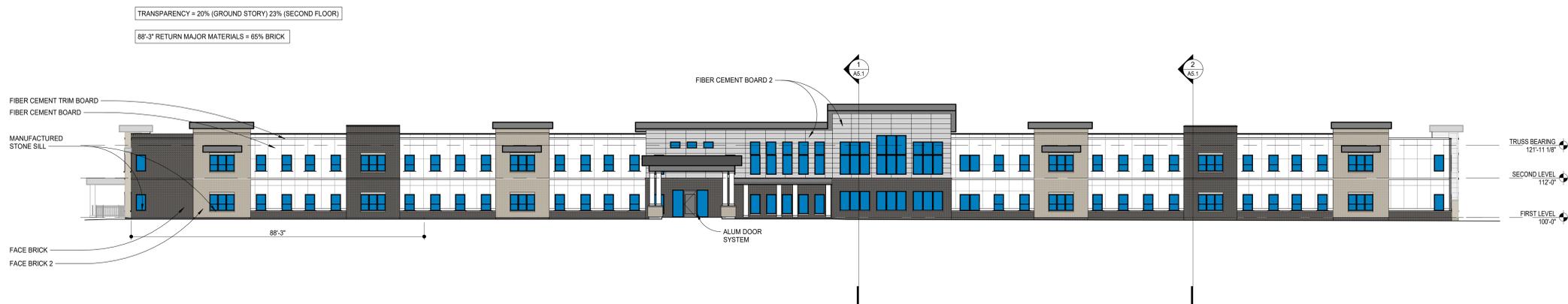
SHEET

A2.2

NOT FOR CONSTRUCTION



2
A3.1 EXTERIOR ELEVATION - SOUTH
1/16" = 1'-0"



1
A3.1 EXTERIOR ELEVATION - NORTH
1/16" = 1'-0"

EXTERIOR
ELEVATIONS

ISSUES & REVISIONS	DATE
1 Addendum 1	07/14/2023
2 Exterior Updates	08/30/2023

COMMISSION NO:	11773-23069
DRAWN BY:	AL
CHECKED BY:	AM

SHEET

A3.1

NOT FOR CONSTRUCTION



2 EXTERIOR ELEVATION - WEST
A3.2 1/8" = 1'-0"



1 EXTERIOR ELEVATION - EAST
A3.2 1/8" = 1'-0"

EXTERIOR
ELEVATIONS

ISSUES & REVISIONS	DATE
1 Addendum 1	07/14/2023
2 Exterior Updates	08/30/2023

COMMISSION NO:	11773-23069
DRAWN BY:	AL
CHECKED BY:	AM

SHEET

A3.2



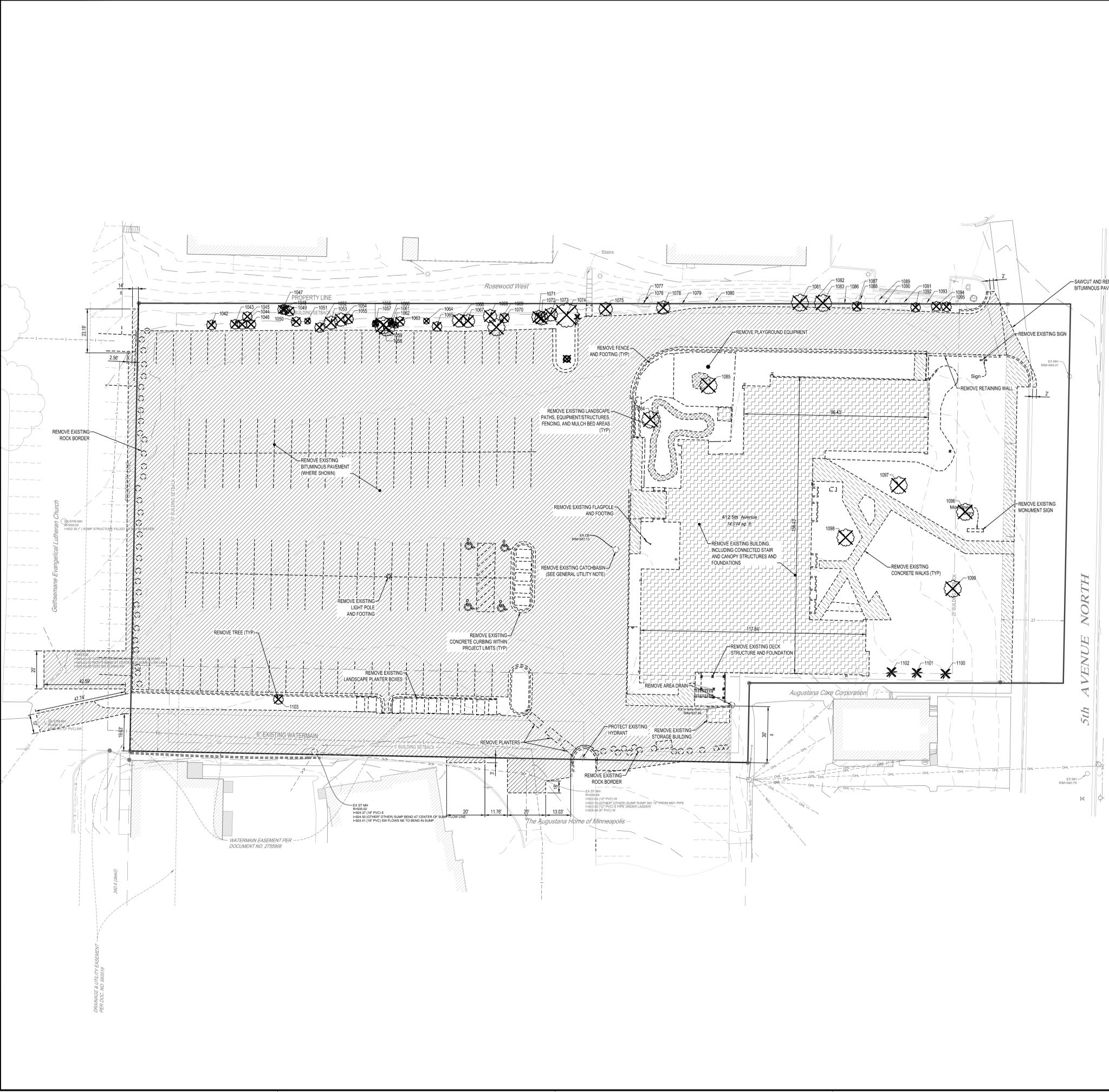
REMOVAL LEGEND

SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE WALK
	DEMOLISH BUILDING
	REMOVE LANDSCAPING

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.

GENERAL UTILITY NOTE:
CONTRACTOR TO REMOVE ALL UNDERGROUND UTILITIES TO THE PROJECT DISTURBED LIMITS. STORM AND/OR SANITARY SEWER PIPING EXTENDING BEYOND THE PROJECT DISTURBED LIMITS SHALL BE CAPPED AND ABANDONED IN PLACE, OR AS REQUIRED BY THE CITY.

TREE SURVEY NOTE:
REFER TO SHEET C5-31 TREE SURVEY FOR REMOVAL AND REPLACEMENT DOCUMENTATION.



NOTE:
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
REESE A. SUDTELGTE

DATE: _____ LIC. NO. 54243

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PROJECT

CASSIA CHAPEL VIEW CARE CENTER

HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

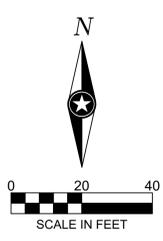
PROJECT NO.	23-29290
FILE NAME	29290 C2-EXISTING
DRAWN BY	BJK/TMK
DESIGNED BY	BJK/TMK
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	08/25/23
CLIENT PROJECT NO.	-

TITLE

EXISTING SITE & REMOVAL PLAN

SHEET

C2-10



PRELIMINARY NOT FOR CONSTRUCTION

PLOT DATE: 05/25/23 10:42 AM



SITE SUMMARY		%
SITE/LOT AREA:	103,371 SF = 2.53 (AC)	
EXISTING IMPERVIOUS:	78,169 SF = 1.72 (AC)	76.5
PROPOSED IMPERVIOUS:	62,124 SF = 1.45 (AC)	60
PERVIOUS PAVERS	15,237 SF = 0.35 (AC)	14

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	HEAVY DUTY BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE WALK
	REVERSE PITCH CONCRETE CURB AND GUTTER
	TYPE ZERO CURB AND GUTTER
	PERMEABLE PAVERS
	CONCRETE BEAM CURB

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REESE A. SUTDELGTE

DATE: _____ LIC. NO. 54243

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PROJECT

**CASSIA
CHAPEL VIEW
CARE CENTER**

HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-29290
FILE NAME	29290 C3-SITE
DRAWN BY	BJK/TMK
DESIGNED BY	BJK/TMK
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	08/25/23
CLIENT PROJECT NO.	-

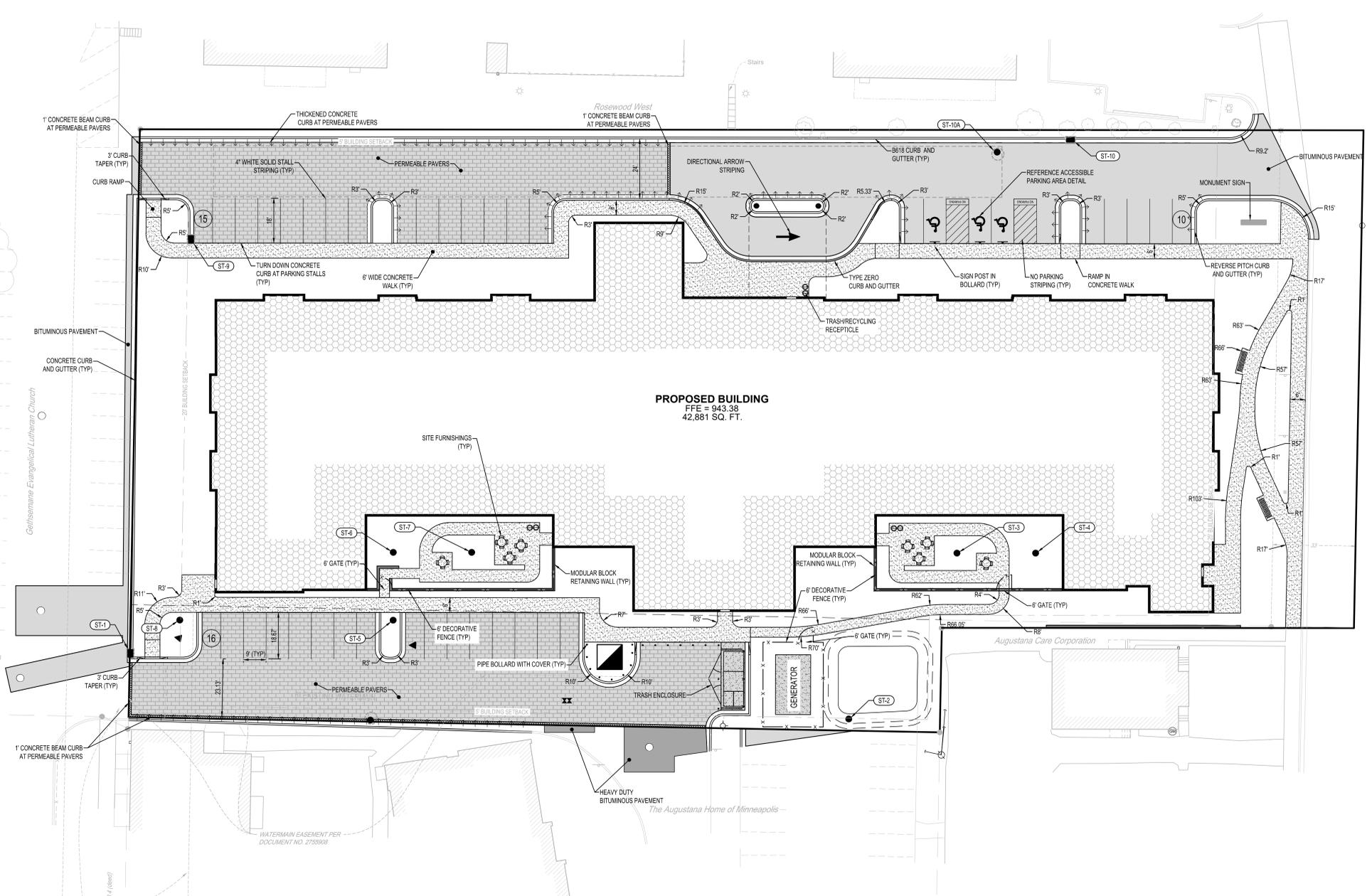
TITLE

SITE PLAN

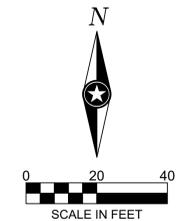
SHEET

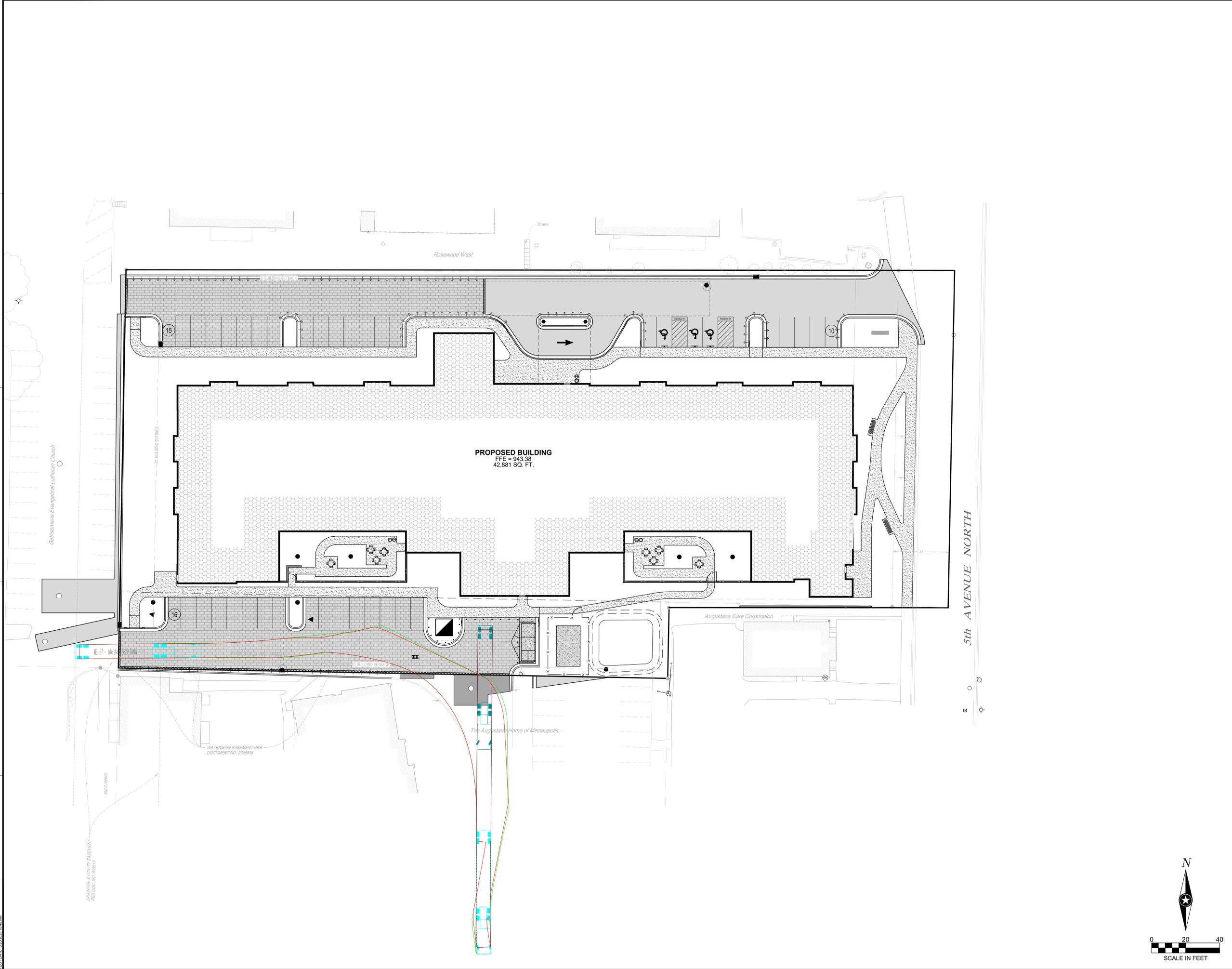
C3-10

PRELIMINARY NOT FOR CONSTRUCTION



5th AVENUE NORTH





PROPOSED BUILDING
FFE = 943.38
42,881 SQ. FT.

5th AVENUE NORTH

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DATE _____ LIC. NO. 54243

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PROJECT

**CASSIA
CHAPEL VIEW
CARE CENTER**

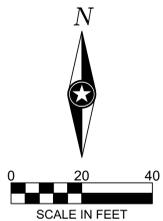
HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-29290
FILE NAME	29290 C3-SITE
DRAWN BY	BJK/TMK
DESIGNED BY	BJK/TMK
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	08/25/23
CLIENT PROJECT NO.	-

TITLE

PICK-UP PLAN



SHEET

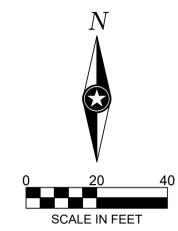
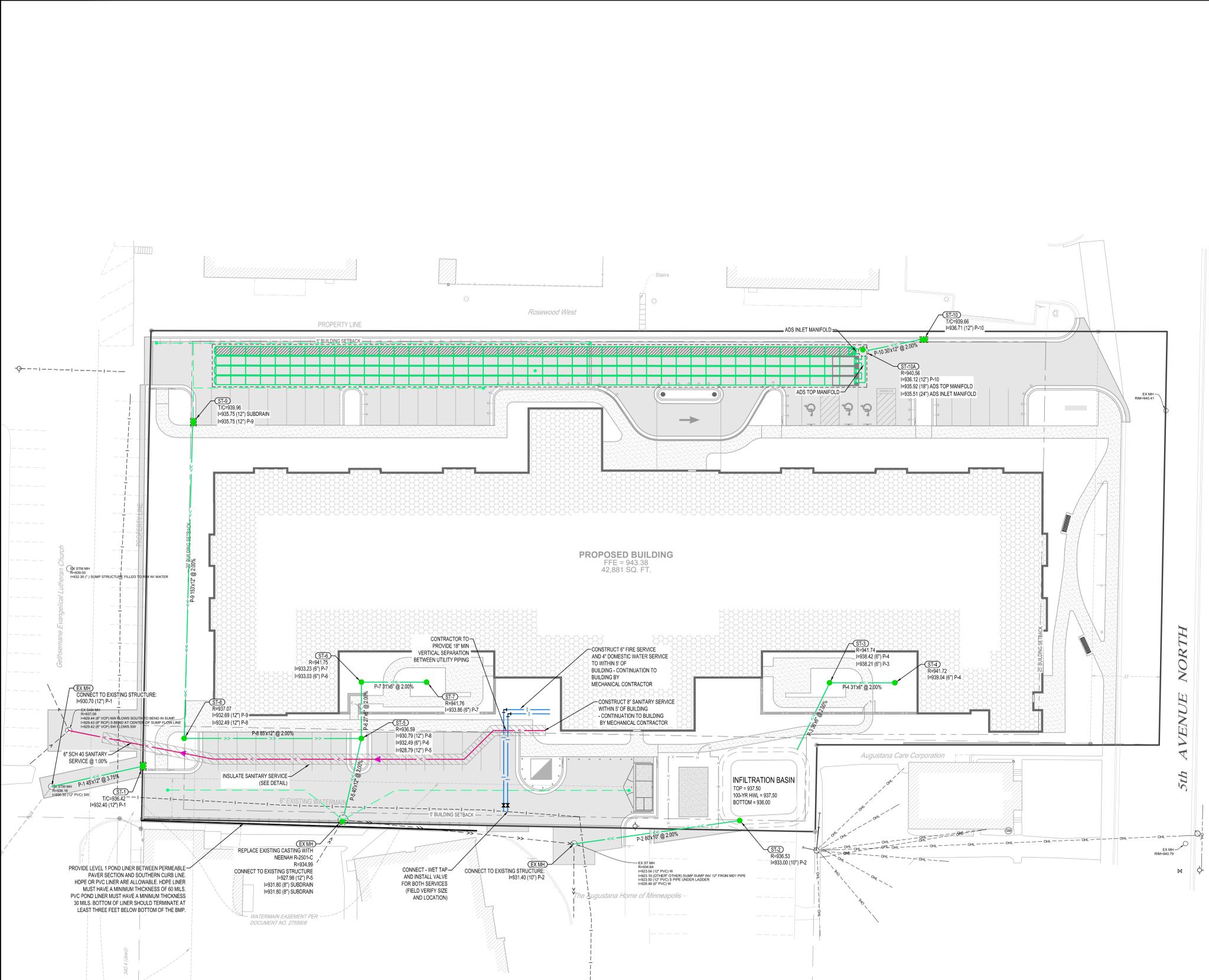
C3-11

PRELIMINARY NOT FOR CONSTRUCTION PRELIMINARY NOT FOR CONSTRUCTION



UTILITY LEGEND		
EXISTING		PROPOSED
--->>---	STORM DRAIN	--->>---
--->---	SANITARY SEWER	--->---
--- ---	SANITARY SEWER FORCEMAIN	--- ---
---I---	WATER MAIN	---I---
---G---	GAS	---G---
---OE---	OVERHEAD ELECTRIC	---OE---
---UE---	UNDERGROUND ELECTRIC	---UE---
---UT---	UNDERGROUND TELEPHONE	---UT---
---UTV---	UNDERGROUND TV	---UTV---
---OHL---	OVERHEAD UTILITY	---OHL---
---UTL---	UNDERGROUND UTILITY	---UTL---
---FBO---	FIBER OPTIC	---FBO---

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.



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PROJECT
CASSIA CHAPEL VIEW CARE CENTER

HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-29290
FILE NAME 29290 C3-UTILITIES
DRAWN BY BJKT/MK
DESIGNED BY BJKT/MK
REVIEWED BY RAS
ORIGINAL ISSUE DATE 08/25/23
CLIENT PROJECT NO. -

TITLE
UTILITY PLAN

SHEET
C3-20

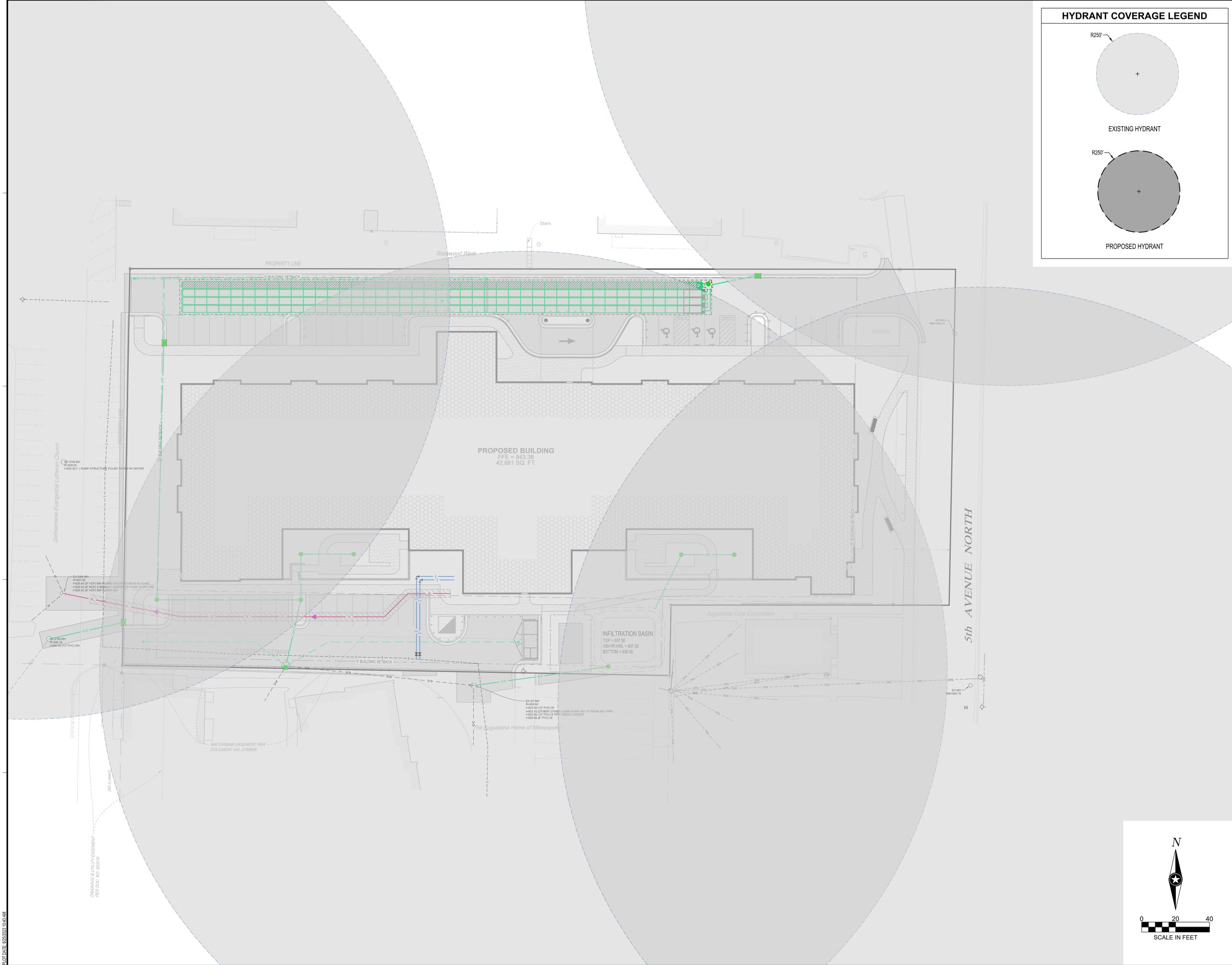
STORM DRAIN PIPE SCHEDULE								
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE (IN)	MATERIAL	PIPE GRADE	PIPE LENGTH (FT)
P-1	ST-1	932.40	EX MH	930.70	12	PVC	SCH 40 3.75%	45
P-2	ST-2	933.00	EX MH	931.40	10	PVC	SCH 40 2.00%	80
P-3	ST-3	938.21	HEADWALL	937.50	6	PVC	SCH 40 2.00%	36
P-4	ST-4	939.04	ST-3	938.42	6	PVC	SCH 40 2.00%	31
P-5	ST-5	928.79	EX MH	927.98	12	PVC	SCH 40 2.00%	40
P-6	ST-6	933.03	ST-5	932.49	6	PVC	SCH 40 2.00%	27
P-7	ST-7	933.86	ST-6	933.23	6	PVC	SCH 40 2.00%	31
P-8	ST-8	932.49	ST-5	930.79	12	PVC	SCH 40 2.00%	85
P-9	ST-9	935.75	ST-6	932.69	12	PVC	SCH 40 2.00%	153
P-10	ST-10	936.71	ST-10A	936.12	12	PVC	SCH 40 2.00%	30

STORM DRAIN STRUCTURE SCHEDULE										
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (IN)	STRUCTURE MATERIAL	CASTING	PAY HEIGHT (LN FT)	* TOP OF CASTING ELEVATION	SUMP ELEVATION	SUMP DEPTH	OUTLET INVERT	OUTLET PIPE
ST-1	CATCH BASIN (TYPE 1)	36 x 24	RC	NEENAH R-3067-VB	4.02	936.42	932.40	0.00'	932.40	P-1
ST-2	DRAIN BASIN	15 0	PVC	NYLOPLAST 1599CGD	4.03	936.53	932.50	0.50'	933.00	P-2
ST-3	DRAIN BASIN	8 0	PVC	NYLOPLAST 0899CGD	4.85	941.74	936.90	0.50'	938.21	P-3
ST-4	DRAIN BASIN	8 0	PVC	NYLOPLAST 0899CGD	3.18	941.72	938.54	0.50'	939.04	P-4
ST-5	DRAIN BASIN	15 0	PVC	NYLOPLAST 1599CGC	6.30	936.59	930.29	0.50'	928.79	P-5
ST-6	DRAIN BASIN	8 0	PVC	NYLOPLAST 0899CGD	9.22	941.75	932.53	0.50'	933.03	P-6
ST-7	DRAIN BASIN	8 0	PVC	NYLOPLAST 0899CGD	8.40	941.76	933.36	0.50'	933.86	P-7
ST-8	DRAIN BASIN	12 0	PVC	NYLOPLAST 1299CGC	5.08	937.07	931.99	0.50'	932.49	P-8
ST-9	CATCH BASIN (TYPE 1)	36 x 24	RC	NEENAH R-3067-VB	4.21	939.96	935.75	0.00'	935.75	P-9
ST-10	CATCH BASIN (TYPE 1)	36 x 24	RC	NEENAH R-3067-VB	2.95	939.66	936.71	0.00'	936.71	P-10
ST-10A	MMDOT 4020	48 0	RC	NEENAH R-1733 "STORM SEWER" IN COVER	8.05	940.56	932.51	3.00'	935.51	ADS INLET MANIFOLD

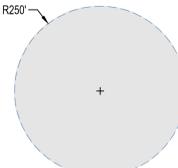
* TOP OF CASTING ELEVATIONS ON CURB STYLE CATCH BASINS = FORM GRADE, NOT TOP BACK OF CURB BOX ELEVATION

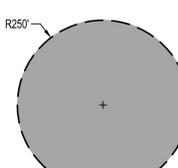
FILE DATE: 05/25/23 09:43 AM

PRELIMINARY NOT FOR CONSTRUCTION



HYDRANT COVERAGE LEGEND

R250'  EXISTING HYDRANT

R250'  PROPOSED HYDRANT



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REESE A. SUTDELGTE

DATE _____ LIC. NO. 54243

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PROJECT
CASSIA CHAPEL VIEW CARE CENTER

HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-29290
FILE NAME 29290 C3-UTILITIES
DRAWN BY BJ/TMK
DESIGNED BY BJ/TMK
REVIEWED BY RAS
ORIGINAL ISSUE DATE 08/25/23
CLIENT PROJECT NO. -

TITLE
HYDRANT COVERAGE PLAN

SHEET
C3-21

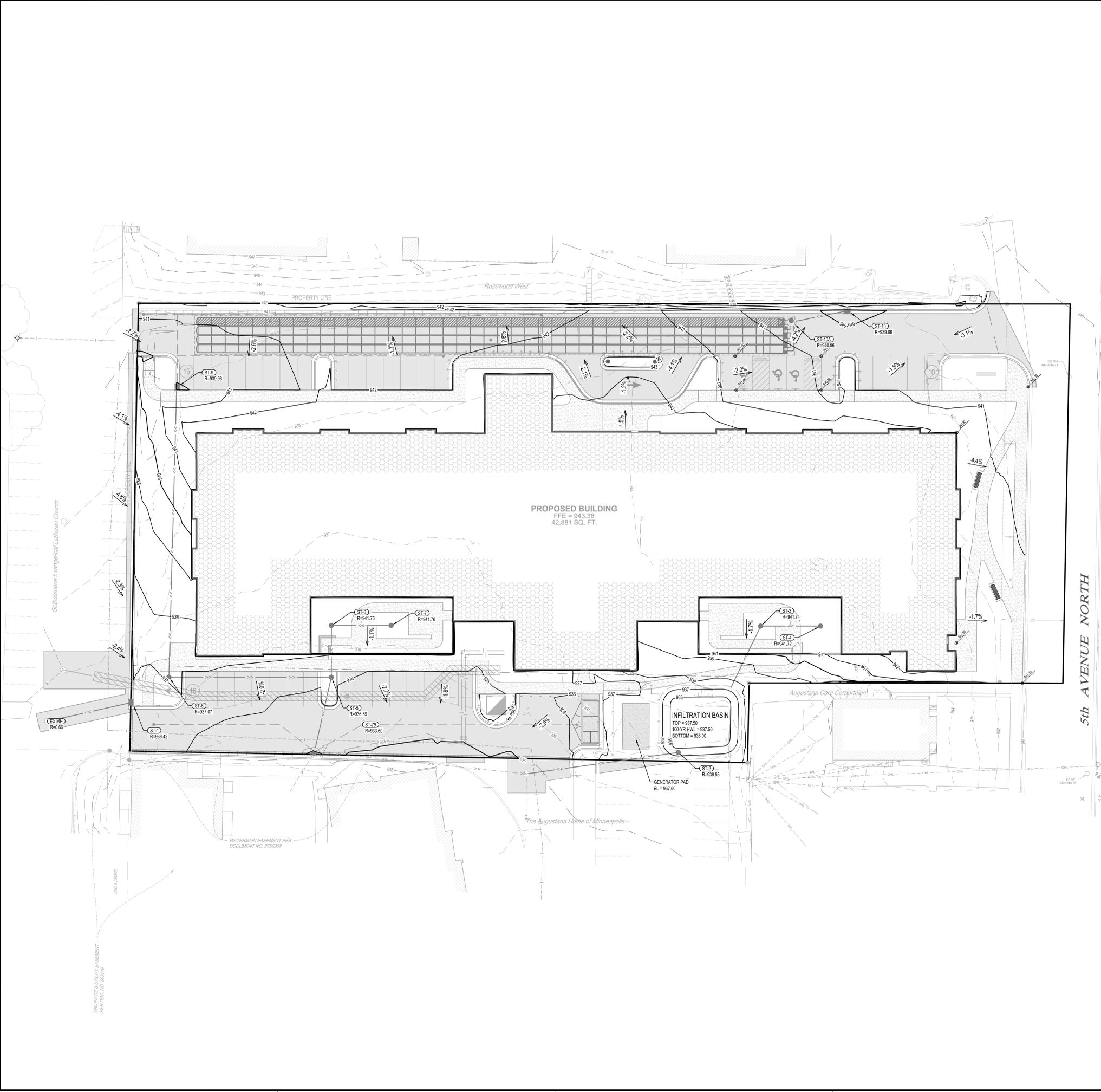
FILE DATE: 05/25/23 10:43 AM

PRELIMINARY NOT FOR CONSTRUCTION



GRADING LEGEND	
--- 101 ---	EXISTING CONTOUR (MINOR INTERVAL)
--- 100 ---	EXISTING CONTOUR (MAJOR INTERVAL)
— 101 —	PROPOSED CONTOUR (MINOR INTERVAL)
— 100 —	PROPOSED CONTOUR (MAJOR INTERVAL)
• 939.96	EXISTING SPOT ELEVATION
• 939.96	PROPOSED SPOT ELEVATION
• 939.96	PROPOSED TOP BACK OF CURB SPOT ELEVATION
• 939.96	PROPOSED TOP OF RETAINING WALL (TW) AND BOTTOM OF RETAINING WALL (BW)
• X.X%	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES
 PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.



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DATE: _____ LIC. NO. 54243

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PROJECT
CASSIA CHAPEL VIEW CARE CENTER

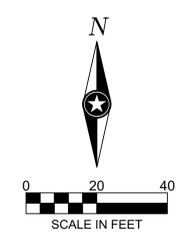
HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-29290
 FILE NAME 29290 C4-GRADING
 DRAWN BY BJ/TMK
 DESIGNED BY BJ/TMK
 REVIEWED BY RAS
 ORIGINAL ISSUE DATE 08/25/23
 CLIENT PROJECT NO. -

TITLE
GRADING PLAN

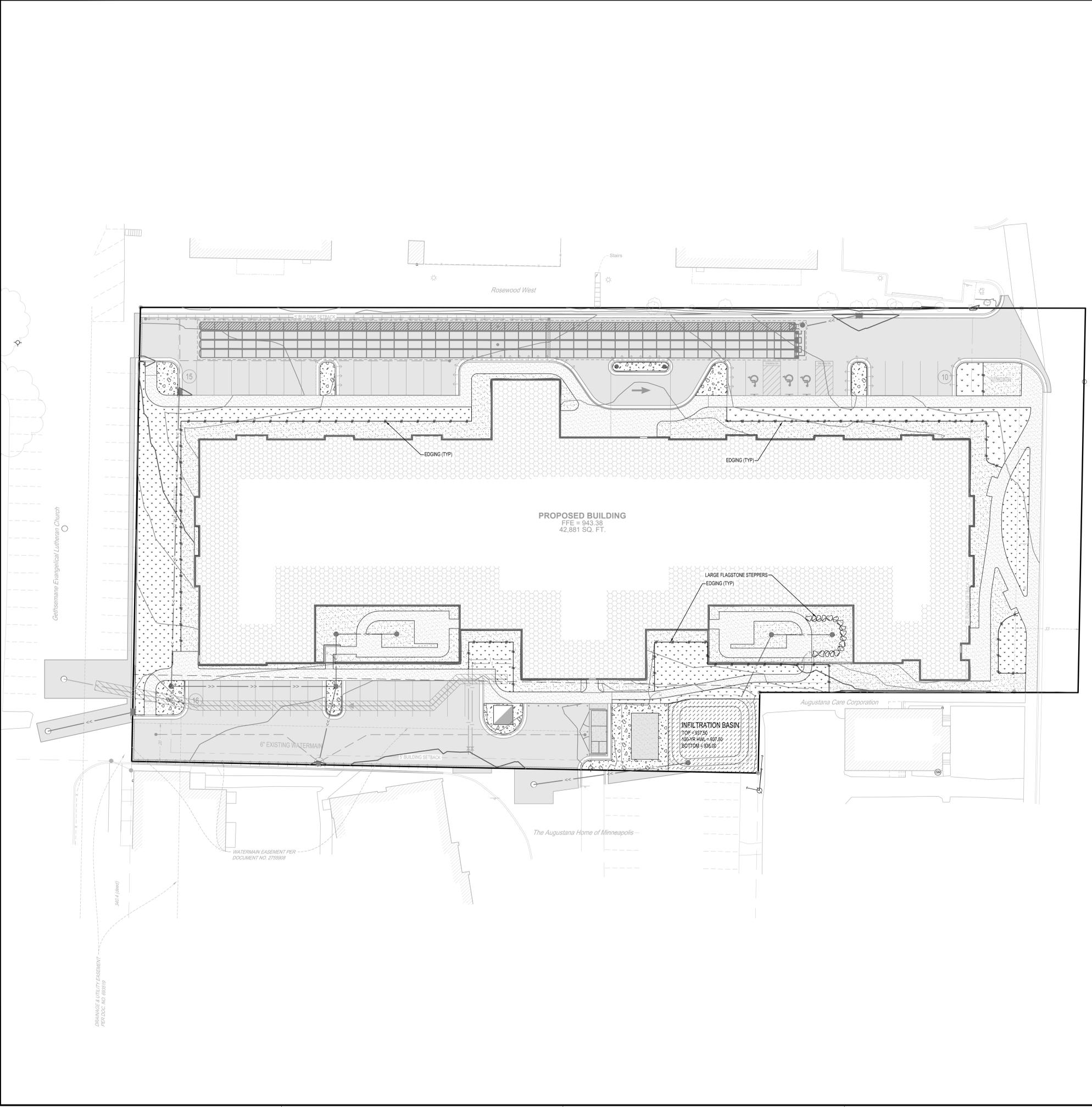
SHEET
C4-10



PRELIMINARY NOT FOR CONSTRUCTION



PLANT SCHEDULE		
MULCH	QTY	BOTANICAL / COMMON NAME
	10,661 SF	DOUBLE SHREDED HARDWOOD MULCH
	2,071 SF	LANDSCAPE ROCK 3' DEPTH MULCH
SEEDING	QTY	BOTANICAL / COMMON NAME
	1,763 SF	SEED MIX INFILTRATION BASIN MIX
SOD	QTY	BOTANICAL / COMMON NAME
	7,553 SF	TURF SOD DROUGHT TOLERANT FESCUE BLEND



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REESE A. SUDTELGTJE

DATE: _____ LIC. NO. 54243

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PROJECT
CASSIA CHAPEL VIEW CARE CENTER

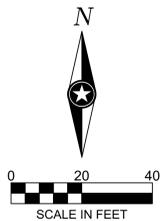
HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-29290
FILE NAME 29290 CS-LAND
DRAWN BY BJK/TMK
DESIGNED BY BJK/TMK
REVIEWED BY RAS
ORIGINAL ISSUE DATE 08/25/23
CLIENT PROJECT NO. -

TITLE
SITE RESTORATION PLAN

SHEET
C5-10



PRELIMINARY NOT FOR CONSTRUCTION



IRRIGATION NOTES

- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND VERIFICATION OF ALL EXISTING UTILITIES AND STRUCTURES. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR UTILITIES. DAMAGE DONE TO UTILITIES, STRUCTURES, OR OTHER FINISHED WORK SHALL BE REPAIRED OR REPLACED AT THE IRRIGATION CONTRACTOR'S EXPENSE.
- IRRIGATION CONTRACTOR TO FIELD ADJUST DRIP LINE LOCATIONS SO AS TO AVOID CONFLICTS WITH TREES, SITE FURNITURE, AND UTILITIES.
- INSTALL PVC SCHEDULE 40 PIPE SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.
- INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OR AS INDICATED ON PLANS OF MAINLINE SYSTEM.
- THE CONTRACTOR SHALL PLACE A #12 SOLID COPPER TRACE WIRE WITH PURPLE PE COVER FOR WATER ALONG ALL PVC MAINLINE. THIS INCLUDES ALL PVC MAINLINE CONNECTING QUICK COUPLER VALVES.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO INSURE THE POINT OF CONNECTION IS PROVIDED PER PLANS.
- INSTALL A BACKFLOW PREVENTER AND ENCLOSURE AT THE POINT OF CONNECTION. INSTALL PER MANUFACTURER SPECIFICATIONS. COORDINATE WITH LOCAL CITY ORDINANCES TO ENSURE THE POINT OF CONNECTION MEETS ALL CODES.
- IRRIGATION CONTRACTOR SHALL INSTALL DRIP IRRIGATION SYSTEM FOR ALL PLANTING AREAS AND SPRAY HEADS FOR TURF LAWN AREAS.
- CONTRACTOR TO SUBMIT IRRIGATION PLAN AND PRODUCT INFORMATION TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. SUBMIT IRRIGATION PLAN AT A SCALE OF 1" INCH EQUALS 30 FEET OR GREATER INDICATING POINT OF CONNECTION, BACKFLOW PREVENTER, LAYOUT / LOCATIONS OF DRIP-LINE, VALVES, MAINLINE, ISOLATION VALVES, FLOW SENSORS, RAIN / FREEZE SENSOR, PIPE SIZING, AND CONTROLLER LOCATIONS.
- CONTRACTOR TO INSTALL NEW TORO CUSTOM COMMAND SERIES / HUNTER ACC-D / RAIN BIRD ESP-LXIVM (OR APPROVED EQUAL) CONTROLLER WITH STAINLESS STEEL PEDESTAL MOUNT. SOURCE IRRIGATION CONTROLLER, RAIN / FREEZE SENSOR, QUICK COUPLERS, AND CONTROL VALVES FROM ONE MANUFACTURER. CONTRACTOR TO VERIFY 110V UNINTERRUPTED ELECTRICAL SERVICE FOR THE CONTROLLER. CONTRACTOR TO INSTALL CONTROLLER PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL VALVE BOX LOCATIONS IN PLANTING AREAS, PARALLEL TO AND SET BACK FROM PAVEMENT EDGES AS INDICATED ON THE PLANS.
- PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER'S REPRESENTATIVE.

IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	DRIP IRRIGATION
	ROTOR IRRIGATION

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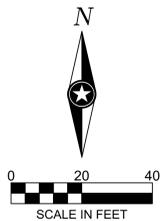
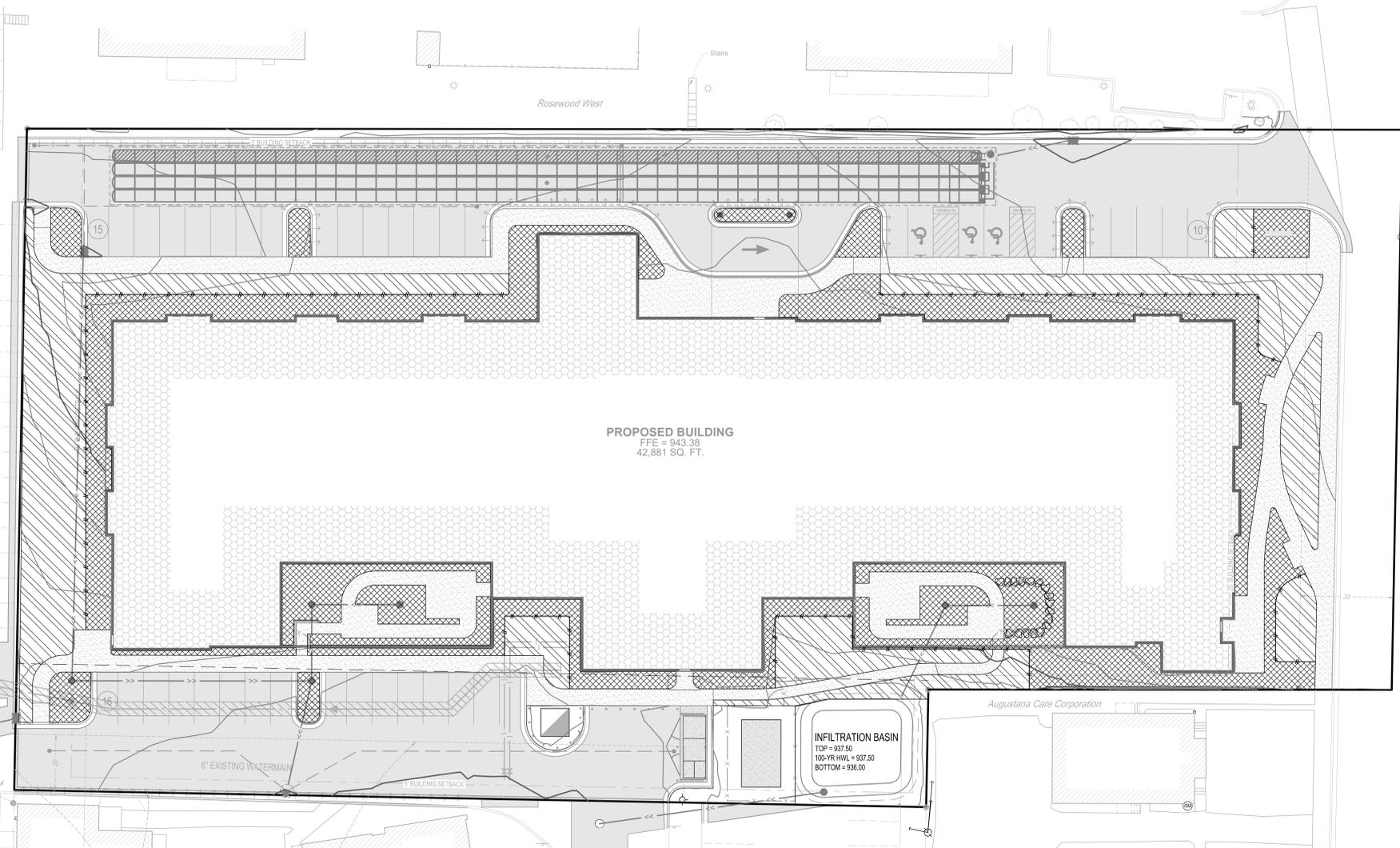
HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

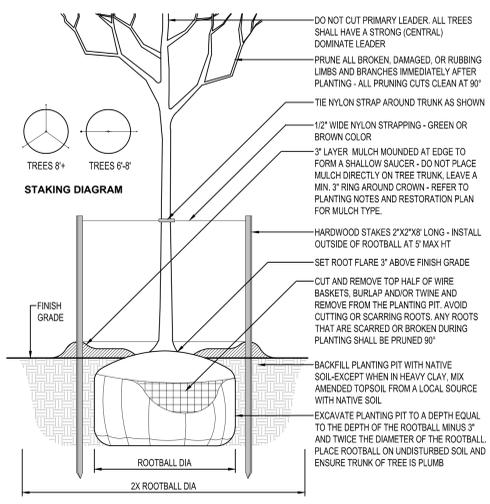
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TITLE
SITE IRRIGATION PLAN

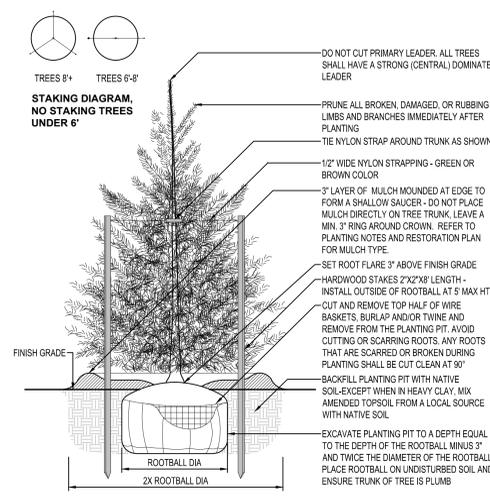
SHEET
C5-11



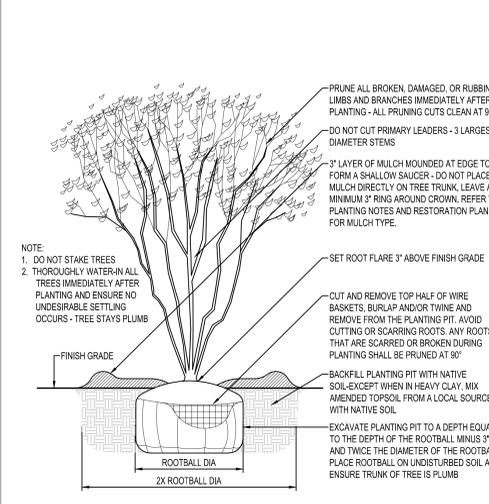
PRELIMINARY NOT FOR CONSTRUCTION



DECIDUOUS TREE PLANTING
NTS

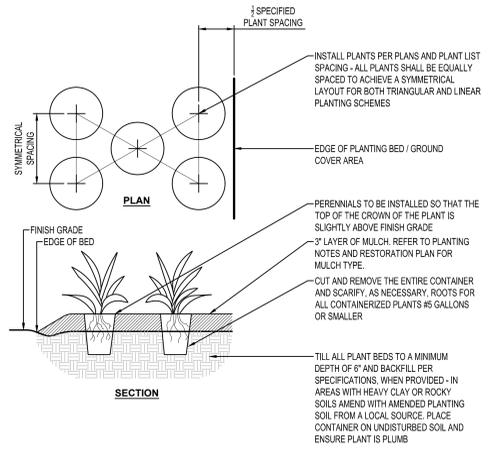


EVERGREEN TREE PLANTING
NTS

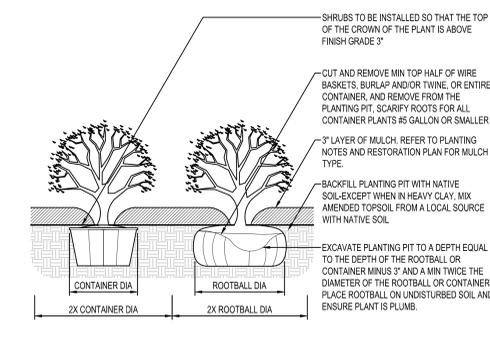


MULTI-STEM TREE PLANTING
NTS

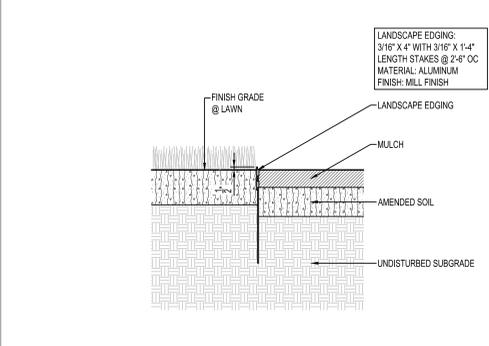
- PLANTING NOTES**
- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
 - SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
 - REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
 - REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
 - FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
 - ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
 - IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
 - ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
 - ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - PROVIDE SHREDDED HARDWOOD MULCH SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS AS NOTED ON SITE RESTORATION PLAN TO A 3" MINIMUM DEPTH AS SHOWN IN PLANTING DETAILS. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
 - PROVIDE 1-1/2" RIVER ROCK MULCH TO A DEPTH OF 3" IN ALL AREAS INDICATED ON SITE RESTORATION PLAN. LANDSCAPE FABRIC SHALL BE USED IN ALL ROCK MULCH AREAS.
 - MULCHING MATERIAL SHALL BE SHREDDED HARDWOOD MULCH, WITH NO INDIVIDUAL PIECES LARGER THAN 3", FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS, AND 1-1/2" RIVER ROCK, 3" MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
 - CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
 - ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.



PERENNIAL PLANTING
NTS



SHRUB PLANTING
NTS



LANDSCAPE EDGING
NTS

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DATE _____ LIC. NO. 54243

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PROJECT _____

**CASSIA
CHAPEL VIEW
CARE CENTER**

HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	23-29290
FILE NAME	29290 CS-LAND
DRAWN BY	BJK/TMK
DESIGNED BY	BJK/TMK
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	08/25/23
CLIENT PROJECT NO.	-

**PLANTING NOTES
AND DETAILS**

PRELIMINARY NOT FOR CONSTRUCTION



Table 1. Existing Tree Inventory Summary

Tree Tag Number	Tree Species	DBH (Inches)	Structural Condition	Health Condition
1042	Elm, Siberian	14.5	2-Good	2-Good
1043	Elm, Siberian	10.5	2-Good	2-Good
1044	Elm, Siberian	8.5	2-Good	2-Good
1045	Elm, Siberian	12	2-Good	2-Good
1046	Elm, Siberian	12	2-Good	2-Good
1047	Elm, Siberian	10	2-Good	2-Good
1048	Elm, Siberian	10.5	2-Good	2-Good
1049	Elm, Siberian	10	2-Good	2-Good
1050	Elm, Siberian	12	2-Good	2-Good
1051	Elm, Siberian	5.5	2-Good	2-Good
1052	Elm, Siberian	16	2-Good	2-Good
1053	Elm, Siberian	10.5	2-Good	2-Good
1054	Elm, Siberian	5	2-Good	2-Good
1055	Elm, Siberian	11	2-Good	2-Good
1056	Elm, Siberian	7.5	2-Good	3-Fair
1057	Elm, Siberian	8.5	2-Good	2-Good
1058	Cottonwood, Eastern	20	1-Excellent	1-Excellent
1059	Cottonwood, Eastern	23	1-Excellent	1-Excellent
1060	Elm, Siberian	9.5	2-Good	2-Good
1061	Elm, Siberian	6.5	2-Good	2-Good
1062	Elm, Siberian	9	3-Fair	2-Good
1063	Elm, Siberian	10	3-Fair	3-Fair
1064	Elm, Siberian	13	3-Fair	2-Good
1065	Elm, Siberian	15	3-Fair	2-Good
1066	Elm, Siberian	11	2-Good	2-Good
1067	Cottonwood, Eastern	22	1-Excellent	1-Excellent
1068	Elm, Siberian	19.5	2-Good	2-Good
1069	Cottonwood, Eastern	26	1-Excellent	1-Excellent
1070	Elm, Siberian	11	2-Good	2-Good
1071	Cottonwood, Eastern	15	2-Good	2-Good
1072	Cottonwood, Eastern	21	1-Excellent	1-Excellent
1073	Cottonwood, Eastern	18.5	2-Good	2-Good
1074	Cottonwood, Eastern	27	1-Excellent	1-Excellent
1075	Cottonwood, Eastern	23.5	2-Good	1-Excellent
1076	Cottonwood, Eastern	21	1-Excellent	1-Excellent
1077	Cottonwood, Eastern	19	2-Good	2-Good
1078	Elm, Siberian	13	2-Good	2-Good
1079	Elm, Siberian	4.5	2-Good	2-Good
1080	Elm, American	20	1-Excellent	1-Excellent
1081	Elm, Siberian	18	2-Good	2-Good
1082	Elm, Siberian	19	2-Good	2-Good
1083	Elm, Siberian	13.5	2-Good	2-Good
1084	Maple, Sugar	20.5	1-Excellent	1-Excellent
1085	Locust, Honey	19	2-Good	2-Good
1086	Elm, Siberian	14	2-Good	2-Good
1087	Elm, Siberian	14.5	2-Good	2-Good
1088	Elm, Siberian	13.5	5-Dead	5-Dead
1089	Elm, Siberian	11	2-Good	2-Good
1090	Elm, Siberian	15	2-Good	2-Good
1091	Elm, Siberian	8	2-Good	2-Good
1092	Elm, Siberian	10.5	2-Good	2-Good
1093	Elm, Siberian	12	2-Good	2-Good
1094	Elm, Siberian	9	2-Good	2-Good
1095	Elm, Siberian	11.5	2-Good	2-Good
1096	Maple, Silver	20.5	1-Excellent	1-Excellent
1097	Maple, Sugar	20	1-Excellent	1-Excellent
1098	Ash, White	35	1-Excellent	1-Excellent
1099	Maple, Norway	21	1-Excellent	1-Excellent
1100	Spruce, White	21	1-Excellent	2-Good
1101	Spruce, White	16.5	2-Good	3-Fair
1102	Spruce, White	16.5	2-Good	2-Good
1103	Ash, White	24	1-Excellent	2-Good
Trees to be Removed - In Red				
		Qty	Caliper Inch to be Removed	Replacement Caliper Replacement
		62		
	Significant Trees to be Removed:	28	547	1641
	Contributory Trees to be Removed:	21	211	211
	Total Site Trees to be Removed:	49	758	1,852

Table 2. Contributing Tree Inventory Summary

Tree Tag Number	Tree Species	DBH (Inches)	Structural Condition	Health Condition
1043	Elm, Siberian	10.5	2-Good	2-Good
1044	Elm, Siberian	8.5	2-Good	2-Good
1045	Elm, Siberian	12	2-Good	2-Good
1046	Elm, Siberian	12	2-Good	2-Good
1047	Elm, Siberian	10	2-Good	2-Good
1048	Elm, Siberian	10.5	2-Good	2-Good
1049	Elm, Siberian	10	2-Good	2-Good
1050	Elm, Siberian	10	2-Good	2-Good
1053	Elm, Siberian	10.5	2-Good	2-Good
1055	Elm, Siberian	11	2-Good	2-Good
1056	Elm, Siberian	7.5	2-Good	3-Fair
1057	Elm, Siberian	8.5	2-Good	2-Good
1060	Elm, Siberian	9.5	2-Good	2-Good
1061	Elm, Siberian	6.5	2-Good	2-Good
1062	Elm, Siberian	7.5	3-Fair	3-Fair
1063	Elm, Siberian	10	3-Fair	3-Fair
1066	Elm, Siberian	11	2-Good	2-Good
1070	Elm, Siberian	11	2-Good	2-Good
1089	Elm, Siberian	11	2-Good	2-Good
1091	Elm, Siberian	8	2-Good	2-Good
1092	Elm, Siberian	10.5	2-Good	2-Good
1093	Elm, Siberian	12	2-Good	2-Good
1094	Elm, Siberian	9	2-Good	2-Good
1095	Elm, Siberian	11.5	2-Good	2-Good
	Total Contributing Trees to be Removed:	21		
	Total Caliper Inch to be Removed:	211		
	Total Caliper Inch Required to be Replaced:	211		

Table 3. Significant Tree Inventory Summary

Tree Tag Number	Tree Species	DBH (Inches)	Structural Condition	Health Condition
1042	Elm, Siberian	14.5	2-Good	2-Good
1052	Elm, Siberian	16	2-Good	2-Good
1058	Cottonwood, Eastern	20	1-Excellent	1-Excellent
1059	Cottonwood, Eastern	23	1-Excellent	1-Excellent
1064	Elm, Siberian	13	3-Fair	2-Good
1065	Elm, Siberian	15	3-Fair	2-Good
1067	Cottonwood, Eastern	22	1-Excellent	1-Excellent
1068	Elm, Siberian	19.5	2-Good	2-Good
1069	Cottonwood, Eastern	26	1-Excellent	1-Excellent
1071	Cottonwood, Eastern	15	2-Good	2-Good
1072	Cottonwood, Eastern	21	1-Excellent	1-Excellent
1073	Cottonwood, Eastern	18.5	2-Good	2-Good
1074	Cottonwood, Eastern	27	1-Excellent	1-Excellent
1075	Cottonwood, Eastern	23.5	2-Good	1-Excellent
1076	Cottonwood, Eastern	21	1-Excellent	1-Excellent
1077	Cottonwood, Eastern	19	2-Good	2-Good
1078	Elm, Siberian	13	2-Good	2-Good
1080	Elm, American	20	1-Excellent	1-Excellent
1081	Elm, Siberian	18	2-Good	2-Good
1082	Elm, Siberian	19	2-Good	2-Good
1083	Elm, Siberian	13.5	2-Good	2-Good
1084	Maple, Sugar	20.5	1-Excellent	1-Excellent
1085	Locust, Honey	19	2-Good	2-Good
1086	Elm, Siberian	14	2-Good	2-Good
1087	Elm, Siberian	14.5	2-Good	2-Good
1088	Elm, Siberian	13.5	5-Dead	5-Dead
1090	Elm, Siberian	15	2-Good	2-Good
1096	Maple, Silver	20.5	1-Excellent	1-Excellent
1097	Maple, Sugar	20	1-Excellent	1-Excellent
1098	Ash, White	35	1-Excellent	1-Excellent
1099	Maple, Norway	21	1-Excellent	1-Excellent
1100	Spruce, White	21	1-Excellent	2-Good
1101	Spruce, White	16.5	2-Good	3-Fair
1102	Spruce, White	16.5	2-Good	2-Good
1103	Ash, White	24	1-Excellent	2-Good
	Total Significant Trees to be Removed:	28		
	Total Caliper Inch to be Removed:	547		
	Total Caliper Inch Required to be Replaced:	1641		

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PROJECT

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CHAPEL VIEW
CARE CENTER**

HOPKINS MINNESOTA

REVISION SCHEDULE		
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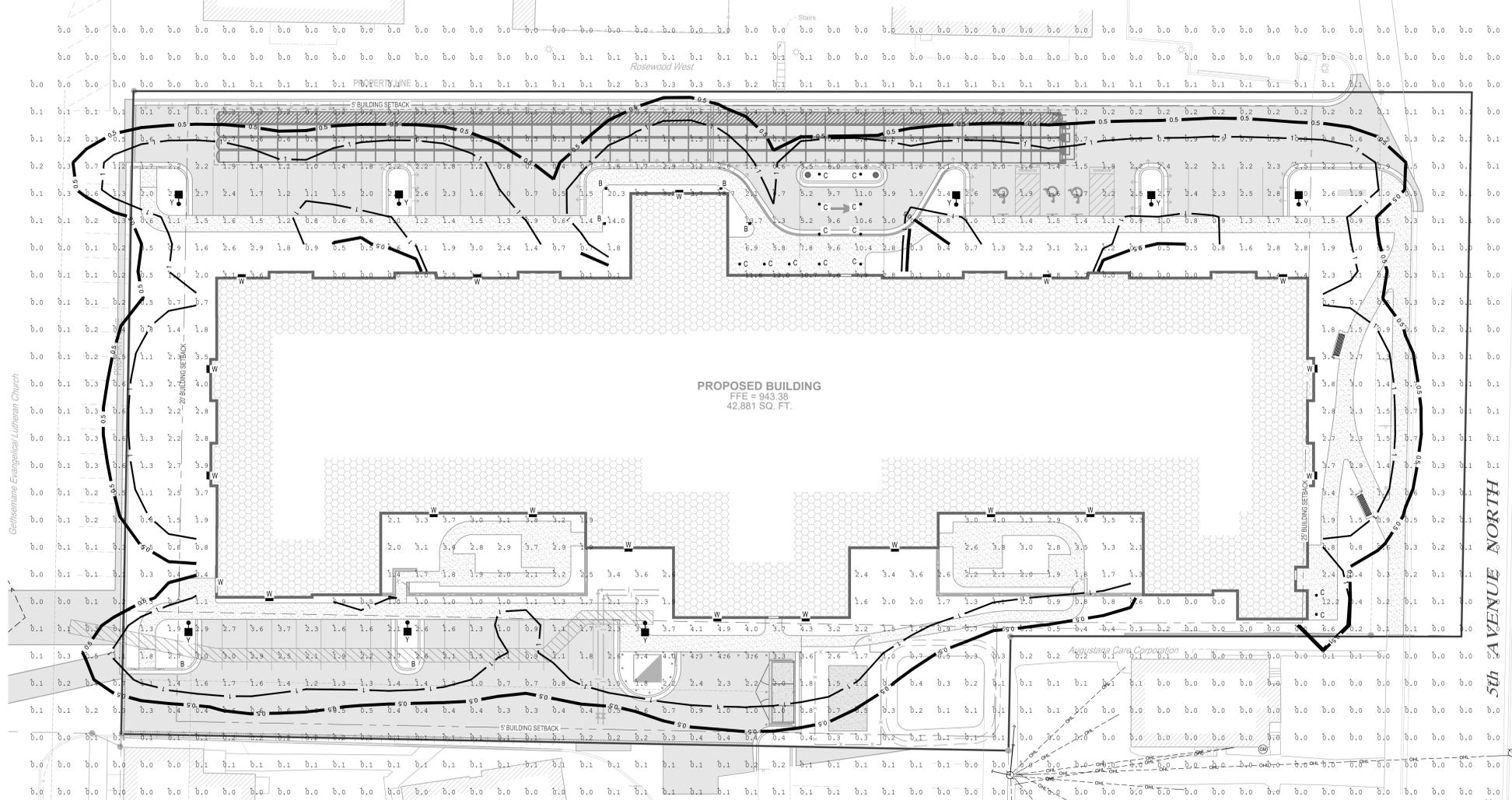
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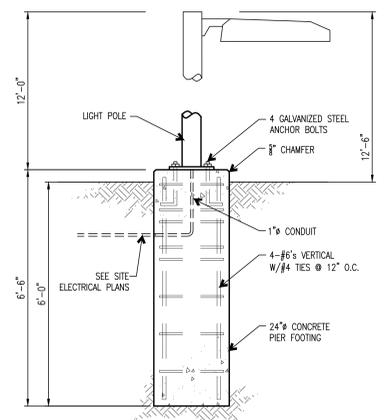
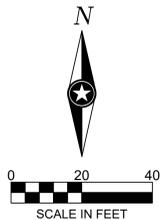
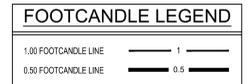
TREE SURVEY

SHEET

PRELIMINARY NOT FOR CONSTRUCTION



NOTE: SEE ELECTRICAL PLAN FOR SITE ELECTRICAL LAYOUT



1 LIGHT POLE DETAIL N.T.S.

LABEL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	MOUNTING HEIGHT	LAMP LUMENS	LLF	WATTS	REMARKS
B	H.E. WILLIAMS	OS66S-120840-AC-FT-XXX-AB-OPTIONS-DIM-UV	6" ALUMINUM BOLLARD - SQUARE	27W LED	3 FEET	2,046	0.90	27.1W	40" BOLLARD LIGHT
C	CONTECH LIGHTING	R6NC24K12D6 / RL-KIT / C6322M-CLR	6" RECESSED DOWN LIGHT	16W LED	14 FEET	1,600	0.90	16W	RECESS FIXTURE IN EXTERIOR CANOPY
W	H.E. WILLIAMS	WVWPV-L60740-FT-XXX-GGL-OPTIONS-DIM-UV	ARCHITECTURAL WALL PACK	70W LED	14 FEET	5,989	0.90	70W	SURFACE MOUNT FIXTURE TO BUILDING EXTERIOR
Y	LITHONIA	DSXO LED P1 35K BCR1 T3M MVOLT SPA HS XXXXX	12" POLE LIGHT	34W LED	12 FEET	4,736	0.90	34W	PROVIDE WITH 12'-0" POLE (RSS-12-04C-DIM9A-10-XXXX)

LIGHT FIXTURE SCHEDULE

OSA6S LED
6" Aluminum Bollard - Square

Features: Suitable for a variety of low level lighting applications, Available with a flat or peak top, LEDs provide high efficacy, good color rendering and a variety of color options, Square aluminum bollard features a highly reflective hood reflector with color matched trim for effective light distribution and pleasing appearance day or night, Fixed, enclosed aluminum heat sink for maximum heat dissipation, Made Right Here! in the USA.

Specifications: Minimum 125" thick, Minimum 125" thick, Minimum 125" thick, Minimum 125" thick, Specify custom color.

Williams
6" Aluminum Bollard - Square

Features: Suitable for a variety of low level lighting applications, Available with a flat or peak top, LEDs provide high efficacy, good color rendering and a variety of color options, Square aluminum bollard features a highly reflective hood reflector with color matched trim for effective light distribution and pleasing appearance day or night, Fixed, enclosed aluminum heat sink for maximum heat dissipation, Made Right Here! in the USA.

Specifications: Minimum 125" thick, Minimum 125" thick, Minimum 125" thick, Minimum 125" thick, Specify custom color.

R6 SERIES | 6-Inch Round Downlights:
R6NC Universal New Construction Housing

Features: Precision, high-performance, reflective acrylic lensing, precision standard LED distributions, LED ASSEMBLY - 4000K, 3000K, or 5000K CCT, minimum 100,000 hours, LED DRIVER - 10:1 dimming, ELECTRICAL - 120V, 16W, 21W, 30W, 38W, 45W, 50/60Hz, SUPER DURABLE POLYESTER powder coat bonded to phosphor-free, multi-stage pre-painted metal, proven and tested for outdoor durability, MOUNTING - Three-point cast aluminum base, For granite installation a tubular mounting template is provided with every outdoor and indoor kit order, LISTINGS - cULus certified to UL STD 508 and UL STD 508A, Certified by CAN/CSA C22.2 No. 250.5, Suitable for wet locations, Compliant with the Bay Area Green Building Code, Compliant with the Bay Area Green Building Code, Compliant with the Bay Area Green Building Code, Compliant with the Bay Area Green Building Code.

Specifications: WATTAGE: 12W, 16W, 21W, 30W, 38W, 45W, 50/60Hz. LUMEN OUTPUT: 1100lm, 1600lm, 2200lm, 3000lm, 3700lm, 4100lm. COLOR TEMPERATURE: 2700K / 3000K / 3500K / 4000K. INPUT VOLTAGE: 120VAC / 277VAC / 347VAC, 50/60Hz. DRIVER POWER FACTOR: > 0.90. TOTAL HARMONIC DISTORTION (THD): < 20%.

Warranty: Five (5) year replacement after date of purchase. Emergency Battery Backup option covered by a one (1) year replacement guarantee after date of purchase.

VWP LED
Voltaire Architectural Wall Pack

Features: Designed to illuminate sidewalks, entryways, patios or terraces, Intended for use in both uplight and downlight applications, Savings of up to 80% energy compared to HID systems, Bends seamlessly with a variety of architectural styles, Wireless remote control solutions available, Made Right Here! in the USA.

Specifications: Housing - Die-cast aluminum enclosure, Thermal Management - Integral die-cast aluminum heat sink and LED assembly provide passive thermal management, Heat sink 40°C ambient operating temperature (20°C to 80°C in 10°C increments), Optical System - Precision, high-performance, reflective acrylic lensing, precision standard LED distributions, LED ASSEMBLY - 4000K, 3000K, or 5000K CCT, minimum 100,000 hours, LED DRIVER - 10:1 dimming, ELECTRICAL - 120V, 16W, 21W, 30W, 38W, 45W, 50/60Hz, SUPER DURABLE POLYESTER powder coat bonded to phosphor-free, multi-stage pre-painted metal, proven and tested for outdoor durability, MOUNTING - Three-point cast aluminum base, For granite installation a tubular mounting template is provided with every outdoor and indoor kit order, LISTINGS - cULus certified to UL STD 508 and UL STD 508A, Certified by CAN/CSA C22.2 No. 250.5, Suitable for wet locations, Compliant with the Bay Area Green Building Code, Compliant with the Bay Area Green Building Code, Compliant with the Bay Area Green Building Code, Compliant with the Bay Area Green Building Code.

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Warranty: Five (5) year replacement after date of purchase. Emergency Battery Backup option covered by a one (1) year replacement guarantee after date of purchase.

NOTE: THE CLARITY OF THESE PLANS DEPEND UPON COLOR COPIES. IF THIS TEXT DOES NOT APPEAR IN COLOR, THIS IS NOT AN ORIGINAL PLAN SET AND MAY RESULT IN MISINTERPRETATION.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. REESE A. SUTDELGTE

DATE: _____ LIC. NO. 54243

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PROJECT

CASSIA CHAPEL VIEW CARE CENTER

HOPKINS MINNESOTA

DATE	REVISION SCHEDULE	DESCRIPTION	BY

PROJECT NO. 23-2920

FILE NAME 29200 E2-LIGHTING 2-POLES

DRAWN BY KDM

DESIGNED BY KDM

REVIEWED BY RAS

ORIGINAL ISSUE DATE 08/25/23

CLIENT PROJECT NO. -

TITLE

SITE LIGHTING PHOTOMETRIC PLAN

SHEET

E2-02

PRELIMINARY NOT FOR CONSTRUCTION

DATE: 08/25/23 12:48 PM



EROSION CONTROL LEGEND	
SYMBOL	DESCRIPTION
	PERIMETER CONTROL
	STORM DRAIN INLET PROTECTION
	STABILIZED CONSTRUCTION EXIT
	EROSION CONTROL BLANKET, CATEGORY 25
	CONCRETE WASHOUT AREA
	PROPOSED DRAINAGE ARROW
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)

PERIMETER CONTROL CAN BE SILT FENCE OR SEDIMENT CONTROL LOG.
 SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.
 NOTE: SWPPP COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS SWPPP INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

EROSION CONTROL QUANTITIES			
ITEM NO.	DESCRIPTION	UNITS	QUANTITY
2573.502	PROPOSED STORM DRAIN INLET PROTECTION	EACH	10
2573.501	STABILIZED CONSTRUCTION EXIT	EACH	1
2575.504	EROSION CONTROL BLANKET, CATEGORY 25	SY	54
	PERIMETER CONTROL	LF	1598
	CONCRETE WASHOUT AREA	EACH	1

QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.

NOTE:
 THE CLARITY OF THESE PLANS DEPEND UPON COLOR COPIES. IF THIS TEXT DOES NOT APPEAR IN COLOR, THIS IS NOT AN ORIGINAL PLAN SET AND MAY RESULT IN MISINTERPRETATION.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
REESE A. SUTDELGTE

DATE: _____ LIC. NO. 54243

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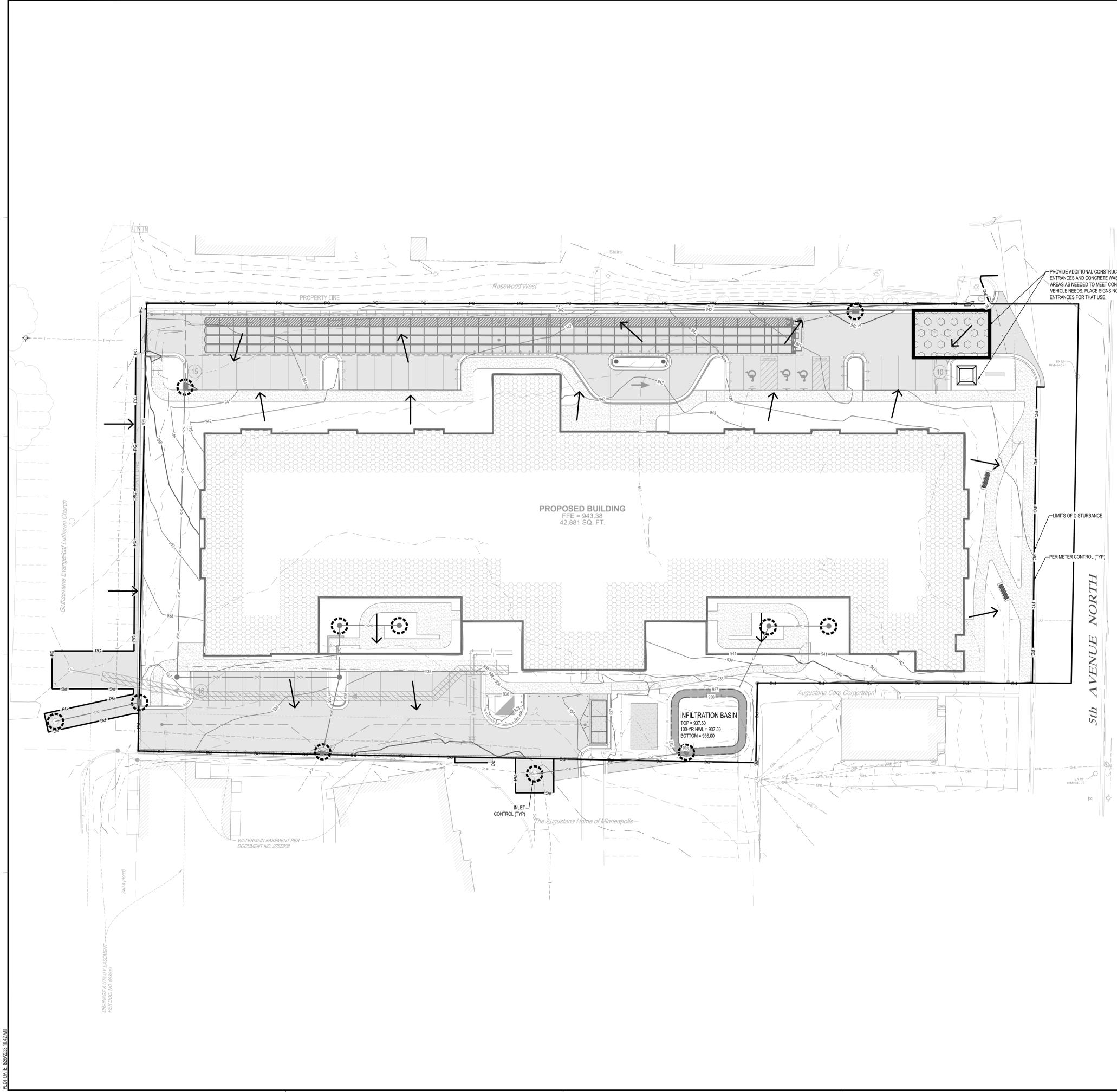
PROJECT
CASSIA CHAPEL VIEW CARE CENTER
 HOPKINS MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 23-29290
 FILE NAME 29290 C1-SWPPP
 DRAWN BY BJK/TMK
 DESIGNED BY BJK/TMK
 REVIEWED BY RAS
 ORIGINAL ISSUE DATE 08/25/23
 CLIENT PROJECT NO. -

TITLE
SWPPP

SHEET
C1-40



PRELIMINARY NOT FOR CONSTRUCTION

FILE DATE: 05/25/23 10:42 AM



Cassia Chapel View PUD - Neighborhood Meeting Minutes

September 11, 2023 (7-8PM)
715 Minnetonka Mills, Rd.
Hopkins, MN 55343

Attendees: Andrew Centanni / Cassia
Adam Lapacz / PDG
Paula Sparling / Chapel View
Pastor John / Gethsemane Lutheran Church
Approximately 21 additional people in attendance (see sign in sheet)

Meeting Notes:

1. **Pastor John introduction and moment of silence.**
 - Chapel View was originally created by the three surrounding churches to serve the community.
2. **Andrew Centanni presentation of project to relocate existing care center.**
 - Asked all in attendance to sign in for documentation.
 - Explained next steps are Planning and Zoning then City Council.

3. Questions:

Question: What is the plan for the houses on 5th?

Response: Houses are to stay

Q: What direction does the dining room face?

R: South

Q: What will parking be like?

R: Parking will be surface and located around the building back and sides.

Q: Traffic flow?

R: Maintaining the existing site driveway access.

Q: Where is the new Chapel?

R: Community room will be on the second floor facing North.

Q: How close will the building be to Rosewood Apartments?

R: Approximately 90 feet.

Q: How does the elevation work from Rosewood – study needs to be done?

R: Rosewood is at a higher elevation and the design features a flat roof not to impede views. Elevations are provided in the submittal.

Q: There is TCU and LTC, will there be memory care?

R: No, strictly skilled with no assisted living.

Q: Will there be stoves and microwaves in units?

R: No stove, sometimes there might be a countertop microwave.

Q: What is the vehicle access from 5th?

R: Same vehicle access location as existing.

Q: Will the trees that get removed be replaced with same size and growth level?

R: Smaller trees are needed to establish roots. We'll be following City tree requirements.

Q: Are you replacing trees along Rosewood?

R: Yes, some, we intend to preserve the existing trees on the East side but the West will need to be removed and replaced for the drive aisle.

Q: Property Manager from Rosewood asked to follow up on trees and other items.

R: Yes, please provide contact information.

Q: How long is the demolition process?

R: Not sure on specifics, but best guess would be 6-8 weeks.

Q: What happens with church items?

R: Some might be donated.

Q: Is there a quiet room?

R: One of the living rooms could be designed not to have a TV to provide a quieter space outside the units.

Q: Spas and pools?

R: No pool, each wing / floor will have a spa room.

Q: Conference rooms?

R: Hybrid spaces will be provided for conferences on each floor with a central conference room for staff training.

Q: Will the apartment be attached to the new building?

R: Intent is to eventually connect to existing campus.

Q: Skilled and Memory Care?

R: Setup to be able to change care levels to allow for future care.

Q: Will there be volunteer activities? "Adopt a grandparent?"

R: Yes, would like to include nearby schools to reach out to the community.

Q: Input from current staff at Chapel View?

R: Not yet, still high level. Assuming that with approval will go over with staff and core leaders. Support spaces and med rooms will need to be worked through.

Pastor John – Cassia did reach out to talk about function and flow to coordinate with Church how it will connect to the site.

Andrew / Cassia – We've been working with the City for a while.

Q: Cassia owns a lot of property on 5th Ave, what's their future?

R: To stay, the City doesn't want the residential area to change and for houses to go away.

Q: Proposed facility fills the entire existing parking?

R: Yes

Q: Demo of existing church and trees?

R: Church would most likely be first, then trees at a later time.

Q: Plows make it difficult in the winter near the house on the hill near Minnetonka. Any word on fixing that?

R: We will tell the City.

Q: Plows and Rosewood?

R: Possibly coordinate with Rosewood.

Q: Entrance off Rosewood is bad, is there a traffic study?

R: Keeping existing entrance, will need to check with City on traffic study.

Q: What is the building exterior material?

R: Working with the City to meet the new design standards. Proposed to have 65% of the 5th Street façade as face brick and 35% fiber cement board.



CITY OF HOPKINS

Planning Application 2023-14

To: Planning and Zoning Commission Chair and Members of the Commission
From: Ryan Krzos, City Planner
Date: September 26, 2023
Subject: Zoning Text Amendment for Office Uses in Mixed Use Zones.

RECOMMENDED ACTION

MOTION TO Adopt Planning & Zoning Resolution 2023-15, recommending the Hopkins City Council approve an ordinance amending Article 5, Chapter 102 of the City Code Regarding Office Uses in Mixed Use Zones.

OVERVIEW

The City's updated Zoning Code established new provisions related to office uses in certain areas of Hopkins. Specifically, office uses are permitted in upper stories only in the MX-D and MX-TOD zones (as shown in the attached Zoning Code excerpt). As such, new office uses are prohibited from locating on the first floor within buildings in these zones. Under state statute, any first-floor office use already established when the updated code was adopted is allowed to continue as a legal non-conforming use.

The MX-D zone encompasses Hopkins' downtown center, principally properties along Mainstreet. The stated intent of the MX-D zone is "to foster a walkable environment with street-level storefronts to provide active shopping and services for residents and upper story uses to include less active uses such as residences and offices." The vision for this area is informed by a policy of the [2040 Comprehensive Plan's Downtown Section](#); to encourage growth and expansion of commercial establishments that address two market orientations: (1) the destination specialty market (e.g. entertainment, arts, and experiential businesses), and (2) the local convenience market (e.g. food, social services, and other daily needs). Furthermore, the Plan contains additional guidance around creating an active pedestrian environment in the downtown. It should be noted that the Comprehensive Plan is a guiding document and the policy prescriptions for how to go about implementing these principals are not always directly spelled out.

Similarly, the MX-TOD zone covers areas in proximity to the Downtown and Blake Road transit stations, with the same intended arrangement of street-level shopping and services with upper story residences and offices. The prohibiting of first-floor offices was the City's policy decision on implementing these guiding principles. The idea behind this decision is that holding to exclusively retail and/or service uses on the first floor drives a high amount of foot traffic, and activity that's inside the building visible to the street/sidewalk. Conversely, office uses are thought to generate less foot traffic and often do not interface well the street/sidewalk.

In the time since the code was adopted, staff has fielded inquiries from prospective tenants about occupying several spaces within the first floor of Mainstreet buildings. As a result, staff revisited this policy given the apparent disconnect with market demand.

Staff surveyed the ordinances of cities in the metro area as well as peer cities in the region, particularly cities with downtowns that share similar characteristics to Hopkins' – see the attached summary matrix. In general, more of the studied cities allow office uses without limitations than those that do limit them. Those that do limit office uses specify locational requirements like Hopkins' current standards or require special approval (conditional use permit).

The proposed ordinance amendment would expand eligibility for first floor office uses in the MX-D and MX-TOD zones. Under the proposal, in the MX-D Zone first floor office uses are allowed except within a building located at a street corner. In the MX-TOD zone, first floor office would not be allowed within space located nearer than 50 feet to the corner; since parcels are generally larger, with more width and frontage, in the MX-TOD zones. Staff finds this solution to be a reasonable middle ground since active uses and foot traffic are more critical at intersections given their prominence from multiple entry points. Corner locations also have more visibility so the impact is greater for the pedestrian and creates the overall feeling a retail-focused environment.

In deciding on Ordinance amendments, the City is acting in a legislative capacity. When considering a legislative action, the City is assigning zoning classifications or creating development standards to regulate the types of uses and/or structures. Under the law, the City has wide flexibility to create standards that will ensure the type of development it desires; however, these regulations must be reasonable and supported by a rational basis relating to promoting the public health, safety and welfare. Per the Zoning Code, in making decisions about development code text amendments, the Planning & Zoning Commission and City Council must consider all relevant factors, including at least the following:

- (1) Whether the proposed development code text amendment is in conformity with the comprehensive plan; and
- (2) Whether the proposed development code text amendment corrects an error or inconsistency or will help meet the challenge of a changed or changing condition.

Consistency with the Comprehensive Plan

As previously noted, the Comprehensive Plan envisions activated pedestrian environments in the downtown and near transit centers. The current limitation of first floor offices is the attempt to enact this guidance. Staff finds that the proposed middle ground sufficiently keeps with this guidance for active street/sidewalk level uses, by maintaining the restriction on the first floor at street intersections.

Correcting an Error or Addressing a Changing Condition

Staff is putting forward the proposed text amendment to address a changing commercial real estate market condition. Although the code update process was developed during a time where the COVID-19 pandemic was in full swing, we are beginning to fully understand the societal change that the event brought about. The pandemic accelerated the downward trend away from brick-and-mortar retail. Furthermore, as office employers have stabilized, staff understands that a segment of office employers are prioritizing amenity-rich urban environments. As such, it is likely that the new office uses, if allowed, would be strategically locating in Hopkins so that

employees could capitalize on nearby shopping and services. Given the relatively high commercial occupancy rate, particularly in the downtown, staff is not expecting a great degree of turnover resulting in a dominance of first floor office uses. If trends further shift in that regard, staff will revisit this policy change and respond accordingly.

The procedure for amending the Zoning Ordinance involves publication of a notice in the City's official newspaper. The Planning and Zoning Commission must also conduct a public hearing and provide a recommendation to the City Council. If so inclined, the Commission could recommend modification of the proposed ordinance, or could table the request for further information and/or study. The City Council will consider the Commission's recommendation and would need to conduct two readings of the proposed ordinance in order to adopt the amendment.

SUPPORTING INFORMATION

- Proposed Ordinance 2023-1201 Amending Article 5, Chapter 102 of the City Code Regarding Office Uses in Mixed-Use Zones
- Planning and Zoning Commission Resolution 2023-15
- Hopkins Zoning Map

City	Use Category	Restrictions
Minneapolis	Office	None
St. Paul	Office, Administrative Office, Artist, Photographer Studio etc. Office, Insurance, Real Estate, Sales Office, Professional	None
Stillwater	Office, General Business or Professional Office, Finance, Insurance, Editorial, or Real Estate Services Office, Administrative Office, Medical or Dental	None
Robbinsdale	Office, Professional Office, Medical Office, Business	None
Excelsior	Office, General Business Office, Clinic (non-veterinary)	Use cannot be located at street level on Water Street or at street level in structures that have frontage on both Water Street and one of the following: Lake Street, 2nd Street, or 3rd Street; use must be located on the upper level
White Bear Lake	Offices, Professional	Permitted in Upper Stories. Allowed on first for if occupying no more than 30% of both the gross floor area and linear street frontage on any parcel.
Park Ridge, IL (pop. 39,656)	Offices, Professional	Permitted: Above Ground Floor Conditional: On Ground Floor
Whitefish Bay, WI (pop. 14,954)	Offices, Professional	Permitted: Above Ground Floor Conditional: On Ground Floor
La Grange, IL (pop. 16,321)	Offices	Restricted on first floor, except interior building spaces that meets all of the following criteria: (1) the leased space does not abut or have a window, door, or other opening onto a public street, (2) the interior of the leased space is not otherwise visible from a public street, and (3) the leased space is defined by separate demising walls and is not integrated with space that abuts or is otherwise visible from a public street.

**CITY OF HOPKINS
HENNEPIN COUNTY, MINNESOTA**

ORDINANCE 2023-1201

**AN ORDINANCE AMENDING CHAPTER 102 OF THE HOPKINS CITY CODE
REGARDING OFFICE USES IN CERTAIN MIXED-USE ZONES**

THE CITY COUNCIL OF THE CITY OF HOPKINS HEREBY ORDAINS AS FOLLOWS:

SECTION 1. Hopkins City Code, Part III, Chapter 102, Article 5, Section 102-510 (a) Table 5-1, is hereby amended by adding the double-underlined language as follows:

Table 5-1. Principal Use Table

	ZONES																Reference			
	MX-TOD	MX-D	MX-N	MX-S	RX-TOD	RX-D	RX-N	IX-TOD	I-TOD	IX-S	I1	N1, N2	N3-A	N3-B	NX1	NX2		P1	P2	
COMMERCIAL																				102-540
Office	⊙	⊙	●	●	●	●	●	●	●	●	●	-	-	-	-	-	-	-	-	102-580(c)

KEY: ● = Permitted ⊙ = Permitted in Upper Stories Only ◐ = Limited to No More than 25% of Footprint ◑ = Limited on first floor to buildings on the interior of a block see 102-580(c) ○ = Requires Conditional Use Approval - = Prohibited

SECTION 2. Hopkins City Code, Part III, Chapter 102, Article 5, Section 102-580 (c), is hereby amended by adding new subsection (c) with the double-underlined language as follows and re-lettering the subsequent subsections to increase by the next letter:

102-580 (c) OFFICE In the MX-D zone, office uses are allowed on the first floor only if said use is within a building that does not have two street frontages along intersecting streets. In the MX-TOD zone office uses are allowed on the ground floor only if all portions of the space accommodating said use are at least 50 feet from the nearest street corner of the block in which the building fronts on. Office uses are allowed in upper stories only in buildings nearer to the street corner in the MX-D and MX-TOD zones.

SECTION 3. The effective date of this ordinance shall be October 19, 2023.

First Reading: October 3, 2023
 Second Reading: October 10, 2023
 Date of Publication: October 19, 2023
 Date Ordinance Takes Effect: October 19, 2023

By: _____

Patrick Hanlon, Mayor

ATTEST:

Amy Domeier, City Clerk

**CITY OF HOPKINS
HENNEPIN COUNTY, MINNESOTA**

PLANNING & ZONING COMMISSION RESOLUTION 2023-15

**RESOLUTION RECOMMENDING THE CITY COUNCIL APPROVE AN ORDINANCE
AMENDING CHAPTER 102 OF THE CITY CODE REGARDING OFFICE USES IN
MIXED-USE ZONES**

WHEREAS, the City of Hopkins' updated Zoning Code establishes provisions related to Office Uses in mixed use zones; and

WHEREAS, in the MX-D, Mixed Use Downtown Center and MX-TOD, Mixed-Use Transit Oriented Development Center zones office uses are permitted in the upper stories only; and

WHEREAS, the proposed ordinance is intended to modify this restriction to allow first floor office uses on the interior of the block, while maintaining the limitation on buildings on and intersection (MX-D) within 50 feet of the street corner (MX-TOD); and

WHEREAS, the Hopkins Zoning and Planning Commission, pursuant to published notice, held a public hearing on and reviewed the proposed ordinance on September 26, 2023: all persons present were given an opportunity to be heard; and

WHEREAS, the written comments and analysis of City staff were considered.

NOW THEREFORE BE IT RESOLVED, that the Planning & Zoning Commission of the City of Hopkins hereby recommends the City Council of the City of Hopkins approve Ordinance 2023-1201 amending Chapter 102 of the City Code Regarding Office Uses in Certain Mixed Use Zones.

Adopted this 26th day of September, 2023.

Andrew Wright, Chair

Article 5 Principal Uses
102-510 Allowed Uses

102-510 Allowed Uses

102-510 (a) PRINCIPAL USE TABLE

Principal uses are allowed in accordance with [Table 5-1](#).
Note: Uses allowed in the CLR zone are identified in [102-430\(c\)](#)

102-510 (b) INTERPRETING THE USE TABLE

- (1) Use Classification System.** Uses are listed in the first column of [Table 5-1](#). This code classifies uses into categories and subcategories, as explained in [102-520](#).
- (2) Permitted Uses.** Uses identified with a “●” are permitted as-of-right in the subject zone, subject to compliance with all other applicable regulations of this code.
- (3) Permitted in Upper Stories Only.** Uses identified with a “◐” are permitted as-of-right in the subject zone but only when located above the ground-floor in upper stories of the building.
- (4) Permitted in Limited Portion of Building Footprint.** Uses identified with a “◑” are permitted as-of-right in the subject zone but such use may not occupy more than 25% of the building footprint.
- (5) Conditional Uses.** Uses identified with a “○” are allowed only if reviewed and approved in accordance with the conditional use procedures of [102-1390](#).
- (6) Prohibited Uses.** Uses identified with a “—” are expressly prohibited. Uses that are not listed in the use table and that cannot be reasonably interpreted (as stated in [102-520](#)) to fall within any defined use category or subcategory are also prohibited.
- (7) Reference.** The final (“Reference”) column of [Table 5-1](#) includes a cross-reference to the use category description and, in some cases, references to supplemental (use-specific) regulations that apply to the subject use.
- (8) Accessory Uses.** Many customary accessory uses and structures are allowed in conjunction with principal uses. See [Article 6](#) for regulations.

102-520 Use Classifications Generally

This section establishes and describes the use classification system used to categorize principal uses in this code.

102-520 (a) USE GROUPS

This code classifies principal land uses into 5 major groupings. These are referred to as “use groups.” The use groups are as follows:

- (1)** Residential (see [102-530](#));
- (2)** Commercial (see [102-540](#));
- (3)** Manufacturing & Industry (see [102-550](#));
- (4)** Civic & Institutional (see [102-560](#)); and
- (5)** Other Uses (see [102-570](#)).

102-520 (b) USE CATEGORIES

Each use group is further divided into more specific categories. Use categories classify principal land uses and activities based on common functional, product or physical characteristics, such as the type and amount of activity, the type of customers or residents, how goods or services are sold or delivered, or relevant building or site conditions.

102-520 (c) USE SUBCATEGORIES

Some use categories are further broken down to identify specific subcategories of uses.

102-520 (d) CLASSIFICATION OF USES

The zoning administrator is authorized to classify individual uses on the basis of the use group, category, and subcategory descriptions of this article. When a use cannot be reasonably classified into a use group, category, or subcategory, or appears to fit multiple groups, categories, or subcategories, the zoning administrator is authorized to assign the use to the most similar and thus most appropriate group, category, or subcategory based on the actual or projected characteristics of the principal use or activity in relationship to the use group, category, or subcategory descriptions. In making such determinations, the zoning administrator must consider:

- (1)** The types of activities that will occur in conjunction with the use;
- (2)** The types of equipment and processes to be used;
- (3)** The existence, number and frequency of residents, customers or employees;
- (4)** Parking demands associated with the use; and
- (5)** Other factors deemed relevant to a use determination.
- (6)** If a use can reasonably be classified in multiple groups, categories, or subcategories, the zoning administrator is authorized to categorize each use in the category, subcategory that provides the most exact, narrowest and appropriate “fit.”
- (7)** Appeals of use classification determinations may be taken to the board of adjustments and appeals in accordance with the appeal procedures of [102-13150](#).

Article 5 Principal Uses
102-520 Use Classifications Generally

Table 5-1. Principal Use Table

	ZONES																Reference	
	MX-TOD	MX-D	MX-N	MX-S	RX-TOD	RX-D	RX-N	IX-TOD	I-TOD	IX-S	I1	N1, N2	N3-A	N3-B	NX1	NX2		P1
RESIDENTIAL																		102-530
Household Living, 1 unit	●	●	●	●	●	●	●	-	-	-	-	●	●	●	●	●	-	-
Household Living, 2 units	●	●	●	●	●	●	●	-	-	-	-	-	●	●	●	●	-	-
Household Living, 3–4 units	●	●	●	●	●	●	●	-	-	-	-	-	-	-	●	●	-	-
Household Living, 5+ units	●	●	●	●	●	●	●	-	-	-	-	-	-	-	-	●	-	-
Manufactured Home Park	-	-	-	-	-	-	-	-	-	-	-	-	○	○	○	○	-	-
Group Living (except as below)	●	●	●	●	●	●	●	-	-	-	-	-	-	-	○	○	-	-
Residential Facility, Small	●	●	●	●	●	●	●	-	-	-	-	●	●	●	●	●	-	-
Residential Facility, Large	○	○	○	○	○	○	○	-	-	-	-	-	-	-	○	○	-	-
COMMERCIAL																		102-540
Adult-Oriented Business	-	-	-	●	-	-	-	-	-	●	●	-	-	-	-	-	-	-
Animal Boarding	-	-	-	-	-	-	-	●	●	●	●	-	-	-	-	-	-	-
Consumer Service	●	●	●	●	●	●	●	●	●	●	●	-	-	-	-	-	-	●
Day Care, Small	●	●	●	●	●	●	●	●	-	-	-	●	●	●	●	●	-	-
Day Care, Large	●	●	●	●	●	●	●	●	-	-	-	-	-	-	○	○	-	-
Entertainment Venue, Large	-	-	-	●	-	●	-	●	-	●	-	-	-	-	-	-	○	●
Funeral & Mortuary Service	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Lodging (except as below)	●	●	●	●	●	●	●	-	-	●	-	-	-	-	-	-	-	-
Short-Term Rental	●	●	●	●	●	●	●	-	-	-	-	○	○	○	○	○	-	-
Office	●	●	●	●	●	●	●	●	●	●	●	-	-	-	-	-	-	-
Personal Credit Establishment	○	-	-	○	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Retail & Entertainment (except as below)	●	●	●	●	●	●	●	●	-	-	-	-	-	-	-	-	-	●
Brewpub	-	●	●	●	-	●	●	-	-	-	-	-	-	-	-	-	-	-
Firearms Sales Establishment	-	-	-	○	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Liquor Sales, Off-Sale	●	●	●	●	●	●	●	●	-	-	-	-	-	-	-	-	-	-
Tobacco Sales Establishment	●	●	●	●	●	●	●	●	-	-	-	-	-	-	-	-	-	-
Self-Service Storage	-	-	-	-	-	-	-	○	-	-	○	-	-	-	-	-	-	-
Vehicle Sales & Service (except as below)	-	-	-	○	-	-	-	-	○	○	○	-	-	-	-	-	-	-
Major Vehicle Repair & Maintenance	-	-	-	-	-	-	-	-	○	-	○	-	-	-	-	-	-	-
MANUFACTURING & INDUSTRY																		102-550
Manufacturing, Artisan	●	●	●	●	●	●	●	●	●	●	●	-	-	-	-	-	-	-
Manufacturing, Limited	-	-	-	-	-	-	-	●	●	●	●	-	-	-	-	-	-	-
High-Impact Industry	-	-	-	-	-	-	-	-	-	-	●	-	-	-	-	-	-	-
Warehousing & Distribution	-	-	-	-	-	-	-	-	●	●	●	-	-	-	-	-	-	-
CIVIC & INSTITUTIONAL																		102-560
College	●	●	●	●	●	●	●	●	-	-	-	-	-	-	-	-	-	●
Community Assembly	●	●	●	●	●	●	●	-	-	-	-	-	-	-	-	-	-	○
Cultural Facility	●	●	●	●	●	●	●	●	●	●	-	-	-	-	-	-	●	●
Detention or Correctional Facility	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	○
Hospital	-	-	-	-	○	○	-	-	-	-	-	-	-	-	-	-	-	●
Parks and Open Space	-	-	●	●	●	●	●	●	●	●	●	○	-	-	-	-	●	●

KEY: ● = Permitted ● = Permitted in Upper Stories Only ● = Limited to No More than 25% of Footprint ○ = Requires Conditional Use Approval -- = Prohibited

Article 5 Principal Uses
102-530 Residential Use Group

Table 5-1. Principal Use Table

	ZONES																Reference			
	MX-TOD	MX-D	MX-N	MX-S	RX-TOD	RX-D	RX-N	IX-TOD	I-TOD	IX-S	I1	N1, N2	N3-A	N3-B	NX1	NX2		P1	P2	
School	○	○	○	○	●	●	●	-	-	-	-	-	-	-	-	-	-	○		
Utilities & Services, Minor	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	102-580 (j)
Utilities & Services, Major	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	102-580 (j)
OTHER																	102-570			
Wireless Communication Facility																				
Tower	-	-	-	-	-	-	-	-	-	-	○	-	-	-	-	-	-	-	-	102-580 (j)
Antenna	●	●	●	●	●	●	●	●	●	●	●	-	-	-	●	●	●	●	●	102-580 (j)

KEY: ● = Permitted ○ = Permitted in Upper Stories Only ◐ = Limited to No More than 25% of Footprint ○ = Requires Conditional Use Approval - = Prohibited

102-530 Residential Use Group

The residential use group includes uses that provide for long-term residential occupancy by individual households or by groups of people living together in a non-household setting.

102-530 (a) HOUSEHOLD LIVING

(1) Description. The household living use category is characterized by a single household occupying a dwelling unit that is self-contained, with facilities for cooking, eating, sleeping, and hygiene. Tenancy is typically 30 days or longer. Examples of household living uses include living in houses, residential buildings containing multiple dwelling units, mixed-use buildings, and other buildings containing self-contained dwelling units. Housing that includes shared facilities (e.g., assisted living facilities, co-housing, and intentional communities) is considered household living if residents occupy self-contained dwelling units.

102-530 (b) MANUFACTURED HOME PARK

(1) Description. The manufactured home park use category includes any lot or multiple lots upon which manufactured homes or are available for lease or upon which spaces for placement of manufactured homes are available for lease.

102-530 (c) GROUP LIVING

(1) Description. The group living use category is characterized by residential occupancy of all or a portion of a building by a group other than a household. Individuals typically occupy rooms or areas that do not include separate cooking, eating, or bathroom facilities necessary to provide for self-contained living. Group living uses typically have a common eating area for residents. Tenancy is typically 30 days or longer. Examples of group living uses include convents, dormitories, monasteries, fraternity and sorority houses,

nursing homes, rooming houses, and similar living arrangements, including the following subcategories:

- a. Residential Facility.** A state-licensed residential facility or a housing with services establishment registered under Minnesota Statutes chapter 144D, except that residential facilities whose primary purpose is to treat juveniles who have violated criminal statutes relating to sex offenses or have been adjudicated delinquent on the basis of conduct in violation of criminal statutes relating to sex offenses are classified in the detention or correctional facility use category (see [102-560 \(d\)](#)). "Small" residential facilities are those with 6 or fewer residents. "Large" residential facilities are those with 7 to 16 residents.

102-540 Commercial Use Group

The commercial use group includes uses that provide a business service or involve the selling, leasing or renting of merchandise to the general public.

102-540 (a) ADULT-ORIENTED BUSINESS

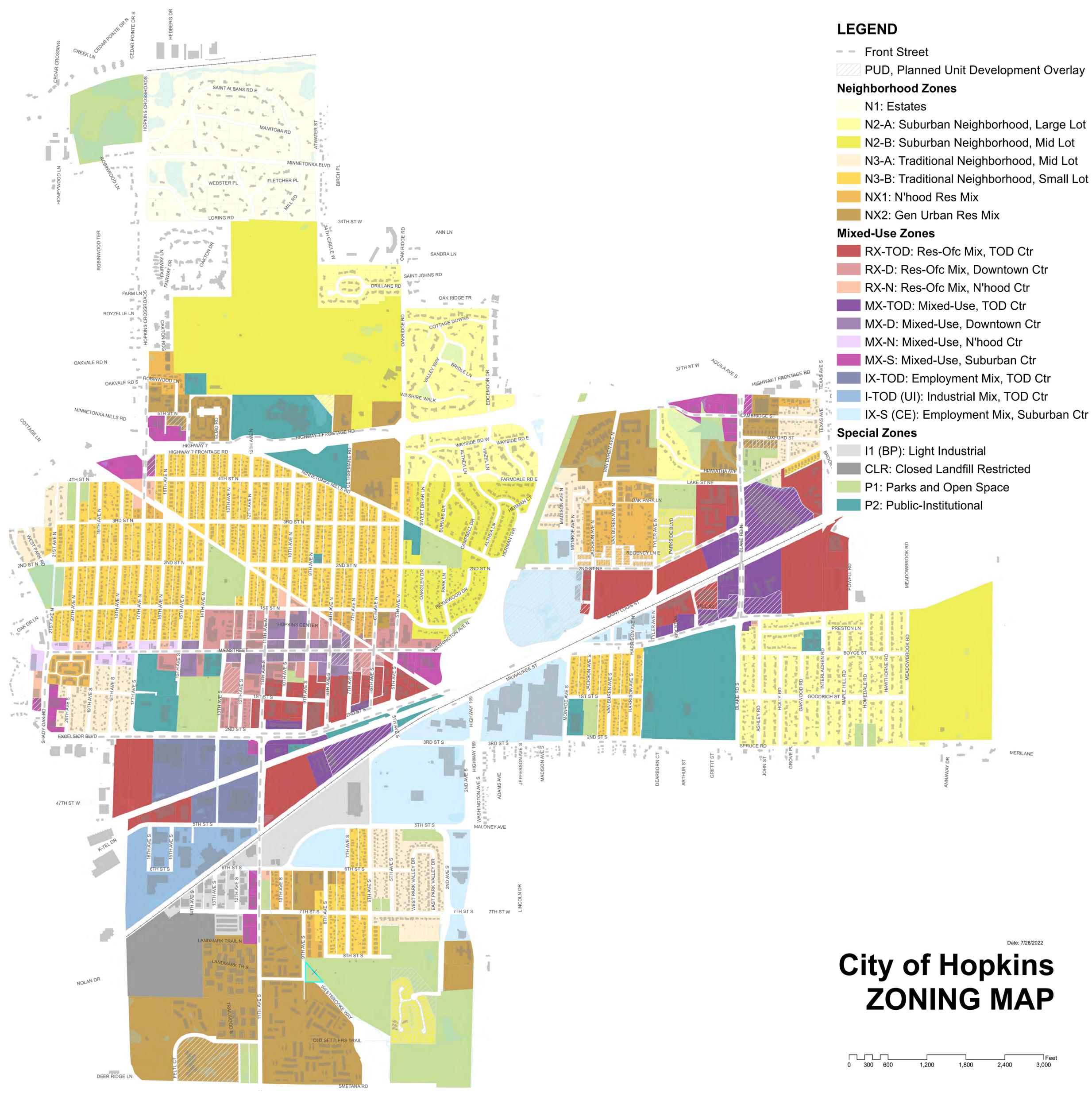
The adult entertainment use category includes all business types defined in Sec. 10-495(b) of the Hopkins City Code. Such uses are subject to all applicable regulations of Part II, Article XIV, Chapter 10 of the Hopkins City Code.

102-540 (b) ANIMAL BOARDING

(1) Description. Establishments that keep and care for companion animals for remuneration or profit. Typical uses include boarding kennels, pet resorts/hotels, doggy or pet day care facilities, pet foster care homes, dog training centers and animal rescue shelters.

102-540 (c) CONSUMER SERVICE

(1) Description. The consumer service use category includes establishments that provide personal or small



LEGEND

- Front Street
- ▨ PUD, Planned Unit Development Overlay
- Neighborhood Zones**
- N1: Estates
- N2-A: Suburban Neighborhood, Large Lot
- N2-B: Suburban Neighborhood, Mid Lot
- N3-A: Traditional Neighborhood, Mid Lot
- N3-B: Traditional Neighborhood, Small Lot
- NX1: N'hood Res Mix
- NX2: Gen Urban Res Mix
- Mixed-Use Zones**
- RX-TOD: Res-Ofc Mix, TOD Ctr
- RX-D: Res-Ofc Mix, Downtown Ctr
- RX-N: Res-Ofc Mix, N'hood Ctr
- MX-TOD: Mixed-Use, TOD Ctr
- MX-D: Mixed-Use, Downtown Ctr
- MX-N: Mixed-Use, N'hood Ctr
- MX-S: Mixed-Use, Suburban Ctr
- IX-TOD: Employment Mix, TOD Ctr
- I-TOD (UI): Industrial Mix, TOD Ctr
- IX-S (CE): Employment Mix, Suburban Ctr
- Special Zones**
- I1 (BP): Light Industrial
- CLR: Closed Landfill Restricted
- P1: Parks and Open Space
- P2: Public-Institutional

Date: 7/28/2022

City of Hopkins ZONING MAP

