

**HOPKINS CITY COUNCIL**

**AGENDA**

**Tuesday, May 4, 2021**

**7:00 pm**

**THIS AGENDA IS SUBJECT TO CHANGE  
UNTIL THE START OF THE CITY COUNCIL MEETING**

**Schedule** HRA Meeting, 7 p.m. – City Council Meeting immediately following HRA Meeting

**I. CALL TO ORDER**

**II. ADOPT AGENDA**

**III. PRESENTATIONS**

**IV. CONSENT AGENDA**

1. Minutes of the April 20, 2021 City Council Regular Meeting Proceedings
2. Second Reading of Ordinance 2021-1164; Kearney
3. Ratify Checks Issued in April 2021; Bishop

**V. PUBLIC HEARING**

1. Public Hearing on the Approval of a Housing Program for a Multifamily Housing Development and the Issuance of Housing Revenue Bonds for the Benefit of Raspberry Ridge Limited Partnership; Bishop
2. First Reading: Hopkins Village Addition Alley Easement Vacation; Lindahl

**VI. OLD BUSINESS**

**VII. NEW BUSINESS**

1. Conditional Use Permit Amendment for Meadowbrook Gold Course; Lindahl
2. First Reading: Comprehensive Plan Amendment and Rezoning for 11524 Excelsior Boulevard; Lindahl
3. First Reading: Ordinance Amending Chapter 2; Article IV of the Hopkins City Code regarding Boards, Commissions, Committees and Similar Bodies; Lenz

**VIII. PUBLIC COMMENT**

**IX. ANNOUNCEMENTS**

- Next City Council Work Session: Tuesday, May 11 at 6:30 p.m.
- Next Regular City Council Meeting: Tuesday, May 18 at 7:00 p.m.

**X. ADJOURN**

**DUE TO THE COVID-19 HEALTH PANDEMIC, THE CITY COUNCIL'S REGULAR MEETING PLACE IS NOT AVAILABLE TO THE PUBLIC WITHOUT RESERVATIONS IN ADVANCE. MEMBERS OF THE PUBLIC WHO DESIRE TO MONITOR THE MEETING REMOTELY, GIVE INPUT OR TESTIMONY DURING THE MEETING CAN FIND INSTRUCTIONS AT**

[www.hopkinsmn.com/virtualmeetings](http://www.hopkinsmn.com/virtualmeetings)

**OR BY CALLING CITY HALL AT 952-548-6302 (DURING NORMAL BUSINESS HOURS 8 AM TO 4:30 PM.)**

**HOPKINS CITY COUNCIL  
REGULAR MEETING PROCEEDINGS  
APRIL 20, 2021**

**CALL TO ORDER**

Pursuant to due call and notice thereof a regular meeting of the Hopkins City Council was held on Tuesday, April 20, 2021 at 5:30 p.m. in the Council Chambers at City Hall, 1010 1<sup>st</sup> Street South.

Mayor Gadd called the meeting to order with Council Members Beck, Brausen, Halverson and Hunke attending. Others attending included City Manager Mornson, Assistant City Manager Lenz, City Clerk Domeier, Assistant City Engineer Klingbeil, Building Official Kearney and City Attorney Riggs.

Mayor Gadd provided information on the meeting format and other opening remarks.

**ADOPT AGENDA**

**Motion** by Brausen. **Second** by Hunke.

**Motion** to Adopt the Agenda.

**Ayes: Beck, Brausen, Halverson, Hunke, Gadd.**

**Nays: None. Motion carried.**

**CONSENT AGENDA**

**Motion** by Halverson. **Second** by Beck.

**Motion** to Approve the Consent Agenda.

1. Minutes of the April 6, 2021 City Council Regular Meeting Proceedings
2. Minutes of the April 13, 2021 City Council Work Session Proceedings
3. Second Reading of Ordinance 2021-1166; Domeier
4. Accept Bids and Award of Contract – 2021 Street Surface Improvements, City Project 2021-004; Klingbeil
5. 425 Madison Avenue North - Second reading of Ordinance 2021-1167, Planned Unit Development Agreement and Final Plat; Lindahl

**Ayes: Beck, Brausen, Halverson, Hunke, Gadd**

**Nays: None. Motion carried.**

**NEW BUSINESS**

**VII.1. Resolution Approving a Brew Pub Off-Sale License and a Brew Pub On-Sale Intoxicating Liquor License with Sunday Sales for Bear Cave Brewing, LLC; Domeier**

City Clerk Domeier provided a summary of Council Report 2021-015. Nathan and W. Jillian Bergeland, on behalf of Bear Cave, submitted an application for a brew pub off-sale license and a brew pub on-sale intoxicating liquor license with Sunday sales at Bear Cave Brewing, LLC (“Bear Cave”), a new brew pub and restaurant to be located at 1201 Mainstreet.

The applicants shared more information about the brewery building, plans and excitement to be a Hopkins business. Brief discussion was held on the use of self-dispensing taps.

**HOPKINS CITY COUNCIL  
REGULAR MEETING PROCEEDINGS  
APRIL 20, 2021**

**Motion** by Beck. **Second** by Brausen.

**Motion** to adopt Resolution 2021-015, entitled Approving a Brew Pub Off-Sale License and an On-Sale Intoxicating Liquor License with Sunday Sales for Bear Cave Brewing, LLC.

**Ayes: Beck, Brausen, Halverson, Hunke, Gadd.**

**Nays: None. Motion carried.**

**VII.2. First Reading: Ordinance Amending Chapter 8 Article VI of the Hopkins City Code; Kearney**

Building Official Kearney provided a summary of Council Report 2021-029. The Ordinance proposed is amending various portions of Chapter 8 Article VI - Property Maintenance. In addition to editorial changes there are a number of more substantive changes that include adopting the 2018 edition of the International Property Maintenance Code (IPMC).

**Motion** by Brausen. **Second** by Halverson.

**Motion** to to approve Ordinance 2021-1164 for first reading.

**Ayes: Beck, Brausen, Halverson, Hunke, Gadd.**

**Nays: None. Motion carried.**

**PUBLIC COMMENT**

Paul Burgett, 44 19<sup>th</sup> Avenue South, provided comments about pedestrian safety and walkability in Hopkins. He requested reflective stanchions to be used for pedestrian crossings in the future.

**ANNOUNCEMENTS**

Mayor Gadd provided the upcoming meeting schedule.

**ADJOURNMENT**

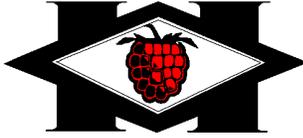
There being no further information to come before the City Council and upon a motion by Brausen, second by Hunke, the meeting was unanimously adjourned at 6:03 p.m.

Respectfully Submitted,  
Amy Domeier, City Clerk

ATTEST:

\_\_\_\_\_  
Jason Gadd, Mayor

\_\_\_\_\_  
Amy Domeier, City Clerk



**CITY OF HOPKINS**

## **Memorandum**

To: Honorable Mayor and Council Members  
From: Christopher P. Kearney, Chief Building Official  
Copy: Mike Mornson, City Manager  
Date: May 4, 2021  
Subject: Second Reading of Ordinance 2021-1164

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Staff recommends that the Council approve the following motion: Move that the Hopkins City Council adopt Ordinance 2021-1164, an Ordinance Amending Chapter 8 Article VI of the Hopkins City Code regarding Property Maintenance for second reading.

Since the first reading, there have been no changes.

Attachment:  
Ordinance 2021-1164

CITY OF HOPKINS  
Hennepin County, Minnesota

ORDINANCE 2021-1164

AN ORDINANCE AMENDING CHAPTER 8 ARTICLE VI OF THE HOPKINS CITY CODE

The City Council of the City of Hopkins does hereby ordain:

Section 1. The Hopkins City Code, Chapter 8, Article VI, section 8-280 is hereby amended by adding the underlined language and deleting the ~~stricken~~ language as follows:

**Sec. 8-280. International code adopted; local amendments; conflicts.**

(a) The International Property Maintenance Code (IPMC), ~~2006~~ 2018 edition, published by the International Code Council, Inc., is adopted by reference as though fully set forth in this section, subject to the following local amendments:

Section 101.1. Insert the name "City of Hopkins."

Section 102.3. In the first sentence, delete the terms: "International Building Code, International Plumbing Code, International Fuel Gas Code, International Mechanical Code, International Fire Code, International Residential Code, International Fire Code, and International Existing Building Code. " and replace with "Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020." and in the second sentence delete the term: "International Zoning Code" and insert "Hopkins Zoning Code, as defined by Hopkins Ordinance No. 515.01"

Section 102.7. Revise the paragraph as follows: "The codes and standards referenced in this Code shall be those that are listed in the state building code and considered part of the requirements of this Code to the prescribed extent of each such reference. Where differences occur between provisions of this Code and the state building code, the Minnesota building code shall apply.

Section 102.7.1, 102.7.2 Delete in their entirety

Section 103. Delete sections 103.1, 103.2, 103.3, and 103.5 in their entirety.

Section 106.2. Delete the term "Section 107" and insert "~~Section 355 or Section 405.05~~" "Section 2-152 or Section 8-281 (c) of the Hopkins City Code."

Section 106.3. Delete the term "Section 107" and insert "~~Section 355 or Section 405.05~~" "Section 2-152 or Section 8-281 (c) of the Hopkins City Code."

~~Section 106.4. Delete in its entirety.~~

Section 107. Delete in its entirety.

Section 108.3. Delete the references to "Section 107.3" and "Section 107.2" and insert "~~Section 355~~"

~~or Section 405.05~~ Section 2-152 or Section 8-281(c) of the Hopkins City Code."

Section 109. Delete in its entirety.

Section 110.1. In the first sentence delete the term "shall" and replace with the term "may."

Section 110.2. Delete the term "Section 107" and insert ~~the term "Section 355 or~~ ~~Section~~  
~~405.05~~ "Section 2-152 or Section 8-281(c) of the Hopkins City Code."

Section 201.3. Delete the terms International Building Code, International Existing Building Code, International Fire Code, International Fuel Gas Code, International Mechanical Code, International Residential Code, International Zoning Code" and insert "Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020, Minnesota state fire code, as defined in Minn. Admin. Rules Ch. 7511, and the Hopkins Zoning Code, as defined by Hopkins Ordinance No. 515.01."

Section 202. Amend as follows "Code Official. The official who is charged with the administration and enforcement of this code, or any duly authorized representative. For the purposes of this code, the code official shall be the Building Official of the city."

Section 302.4. Delete in its entirety.

Section 302.8. Delete in its entirety.

~~Section 302.9. Delete in its entirety.~~

Section 303. ~~3~~ Delete in its entirety.

Section 304.1.1 Amend by replacing the term "International Building Code" with "Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020." Amend by replacing the term "International Existing Building Code" with "Minnesota Conservation Code for Existing Buildings, as defined in Minn. Admin. Rules 1300.0020."

~~Section 304.3. Delete in its entirety.~~

Section 304.6. Amend by deleting the entire provision and inserting the following language: "Exterior Walls. All exterior walls shall be free from holes, breaks, loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration. Without limiting the generality of this section, a protective surface of a building shall be deemed to be out of repair if:

- a. The protective surface is paint which is blistered or peeling to an extent of more than 25 percent of the area of any plane or wall or other area including window trim, cornice members, porch railings and other such areas;
- b. More than 25 percent of the finish coat of a stucco wall is worn through or chipped

away."

Section 304.14. Amend by inserting the following dates "May 1" and October 1."

~~Section 304.18.1. Delete in its entirety.~~

Section 304.18.3. Delete in its entirety.

~~Section 306.1. Insert "existing" at the start of the second sentence before the word handrails. Add the following after the exceptions: "Any new guardrail or handrail added shall be installed to meet the requirements in the current state building code."~~

Section 306.1.1 In the first sentence delete the phrase "International Building Code or the International Existing Building Code" and replace with "Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020."

Section 307.1. Insert "existing" at the start of the second sentence before the word handrails. Add the following after the exceptions: "Any new guardrail or handrail added shall be installed to meet the requirements in the current state building code."

Section ~~307.~~ 308. Delete in its entirety.

Section 401.3. Delete the term "International Building Code" and insert the term "Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020."

Section 403.3. Edit second exception as follows: "For the purposes of this section, devices such as coffee pots, microwave ovens, hot air popcorn poppers, slow cookers, toasters and similar appliances shall not be considered as cooking appliances. Hot plates, electric fry pans, and similar appliances are not permitted."

Section 404.2. Replace the dimension "three feet" with "30 inches."

Section 502.4. Delete in its entirety.

Section 502.4.1. Delete in its entirety

Section 503.3. Delete in its entirety.

Section 505.1. Delete the term "International Plumbing Code" and insert the term "Minnesota State Plumbing Code, as set forth in Minn. Admin. Rules chapter 4715."

Section 602.2. Amend the first sentence by ~~deleting the number "20" and inserting the number "19" and~~ deleting everything after the phrase "toilet rooms based on" and insert "a winter outdoor design temperature of minus 12 degrees Fahrenheit." Delete the exception.

Section 602.3. Amend the first sentence by inserting the following dates in the brackets: October 1, May 15, ~~and by deleting the number "20" and inserting the numbers "68" and "19."~~ Delete both Exceptions.

~~Section 602.3. Amend the exception by deleting the words "the winter outdoor design~~

~~temperature for the locality" and inserting "minus 12 degrees Fahrenheit" and by deleting the last sentence. Delete Exception Number 2.~~

Section 602.4. Amend the first sentence by inserting the following dates in the brackets: October 1 May 15 and delete 65 and ~~19~~ 18 and replace with 68c and 20c.

Section 604.2. Amend by deleting the term "~~ICC Electrical Code~~" NFPA 70 in the first sentence and insert "Minnesota State Electrical Code, as set forth in Minn. Admin. Rules 1315.0200."

Section 604.3.1.1. Amend by deleting the term "International Building Code" in the first sentence and insert "Minnesota State Electrical Code, as set forth in Minn. Admin. Rules 1315.0200."

Section 604.3.2.1. Amend by deleting the term "International Building Code" in the first sentence and insert "Minnesota State Electrical Code, as set forth in Minn. Admin. Rules 1315.0200."

Section 606.1. Amend by deleting the term "ASME A17.1" in the first and third sentences and insert "Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020." Delete everything in the last sentence starting with "Appendix N."

Section 702.1 and 702.2. Amend by deleting the term "International Fire Code" and inserting the term "Minnesota state fire code, as defined in Minn. Admin. Rules chapter 7511."

Section 702.3. Amend by deleting the term "International building code" and inserting the term "state building code, as defined in Minn. Admin. Rules 1300.0020."

Section 703.2. Amend by deleting the phrases "Section 111.1.1 of the International Fire Code" and "Section 111.2 of the International Fire Code" and replacing both with the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 703.7. Delete in its entirety.

Section 704.1. Amend by deleting the term "International Fire Code" and inserting the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511," ~~and "state building code, as defined in Minn. Admin. Rules 1300.0020."~~

Section 704.1.2. Amend by deleting the phrase "International Fire Code or the International Building Code" and inserting the phrase "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511 or the Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020."

Section 704.1.3. Amend by deleting the term "the following International Fire Code requirements" and replacing with the term "requirements of the Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511." Delete numbers 1 through 16 in their entirety.

~~Section 704.2. Amend by deleting the term "International Fire Code" and inserting the term~~

~~"Minnesota state fire code, as defined in Minn. Admin. Rules chapter 7511." and deleting numbers 2, in each room used for sleeping purposes."~~

~~Section 704.3. Amend the exception by deleting everything starting with the word "unless."~~  
"Amend by deleting "Section 901 of the International Fire Code" and inserting the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 704.3.1. Amend by deleting "Section 901.7.4 of the International Fire Code" and inserting the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

~~Section 704.4. Amend exception number two by deleting everything starting with the word "unless."~~

Section 704.4.2(1). Amend by deleting "International Fire Code" and inserting the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 704.4.3. Amend by deleting "International Fire Code" and inserting the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 704.5.1. Amend the exception by deleting "Section 912.5 of the International Fire Code" and inserting the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 704.6.1.3. Delete in its entirety.

Section 704.6.1.4. Delete in its entirety.

Section 704.6.4(1). Amend by deleting "Section 907 of the International Fire Code" and inserting the term "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 704.6.4(2). Amend by deleting "Section 907.2 of the International Fire Code" and inserting "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 704.6.4(3). Amend by deleting "Section 907.6.6 of the International Fire Code" and inserting "Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511."

Section 705.1. Amend by deleting the phrase "Section 1103.9 of the International Fire Code" and replacing with the phrase "Section 915 of the Minnesota State Fire Code, as defined in Minn. Admin. Rules chapter 7511." Amend by deleting the phrase "International Residential Code" and replacing with the phrase "Minnesota State Building Code, as defined in Minn. Admin. Rules 1300.0020." Amend by deleting the phrase "Section R315 of."

(b) In the event of conflict between the provisions of the IPMC and any other applicable code or ordinance enforced by or in the city, the more restrictive provisions shall apply.

(c) Nothing in the IPMC adopted shall be construed to affect any suit or proceeding pending in any court, or any rights acquired, or liability incurred, or any causes of action acquired or existing, under

any other code or ordinance enforced by or in the city, nor shall any just or legal right or remedy of any character be lost, impaired or affected.

Section 2. The effective date of this ordinance shall be the date of publication.

First Reading: April 20, 2021

Second Reading: May 4, 2021

Date of Publication: May 13, 2021

Date Ordinance Takes Effect: May 13, 2021

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Jason Gadd, Mayor

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Date

ATTEST:

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Amy Domeier, City Clerk

**CITY OF HOPKINS**

**COUNTY OF HENNEPIN**

**SUMMARY OF**

**ORDINANCE NO. 2021-1164**

**AN ORDINANCE REVISING VARIOUS SECTIONS OF THE CITY  
CODE RELATED TO THE PROPERTY MAINTENANCE CODE**

The following is a summary of the major revisions of the ordinance:

Chapter 8 Article VI Property Maintenance Code

- Adopts the 2018 edition of the International Property Maintenance Code.
- Removes sections of the existing Chapter 8 Article VI that are not part of the 2018 edition of the International Property Maintenance Code.
- Removes sections of the 2018 edition of the International Property Maintenance Code that are more restrictive than the 2020 MN State Building Code.

A printed copy of the entire ordinance is available from the City Clerk and on the City of Hopkins Website.

First Reading of Ordinance 2021-1164	April 20, 2021
Second Reading of Ordinance 2021-1164	May 4, 2021
Publication of Summary Ordinance 2021-1164	May 13, 2021
Date Ordinance 2021-1164 Takes Effect	May 13, 2021

# CITY OF HOPKINS

**FINANCE DEPARTMENT**

## MEMORANDUM

Date: May 4, 2021  
To: Honorable Mayor and Members of the City Council  
From: Nicholas Bishop, Finance Director  
Subject: Ratify Checks Issued in April 2021

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The checks issued between March 26, 2021 and April 28, 2021 were number 122671 through 122977, for a total distribution of \$1,103,971.58.

The checks issued, along with the purpose for those payments are attached for your review.

The check registers and detail of those checks can be reviewed at any time in the Finance Department.

# Accounts Payable

## Checks by Date - Summary by Check Date

User: mortiz  
Printed: 4/28/2021 3:10 PM



1010 First Street South  
Hopkins, MN 55343

952-935-8474  
M-F, 8 am-4:30 pm  
[www.hopkinsmn.com](http://www.hopkinsmn.com)

Check No	Vendor No	Vendor Name	Check Date	Void Checks	Check Amount
122671	28422	ADVANCED IMAGING SOLUTIONS	04/01/2021	0.00	4,569.81
122672	01493	AMERICAN PRESSURE, INC	04/01/2021	0.00	833.33
122673	02031	B & W SPECIALTY COFFEE CO	04/01/2021	0.00	572.24
122674	29512	BACHMAN'S	04/01/2021	0.00	113.85
122675	02047	BADGER METER INC	04/01/2021	0.00	1,500.00
122676	31082	DAVID BEHRENS	04/01/2021	0.00	500.00
122677	29817	GARY BINGER	04/01/2021	0.00	2,900.00
122678	31086	JACQUELYNN CARLSON	04/01/2021	0.00	24.50
122679	29996	GENIE CASTRO	04/01/2021	VOID 24.50	0.00
122680	28430	CENTURY LINK	04/01/2021	0.00	753.71
122681	03001	CES IMAGING	04/01/2021	0.00	683.86
122682	30127	CINTAS CORPORATION NO. 2	04/01/2021	0.00	127.25
122683	31083	DIANNE DEJOLSVAY	04/01/2021	0.00	500.00
122684	04165	DELEGARD TOOL CO	04/01/2021	0.00	100.35
122685	29303	DIVERSIFIED COFFEE PRODUCTS	04/01/2021	0.00	279.50
122686	31085	JOHN DOBBINS	04/01/2021	0.00	500.00
122687	28971	EXCELSIOR MOTOR VEHICLE CENTE	04/01/2021	0.00	5,210.46
122688	30330	FAE LSE 6 LLC	04/01/2021	0.00	3,833.34
122689	30601	FAE LSE 8 LLC	04/01/2021	0.00	3,756.04
122690	29491	FERGUSON WATERWORKS #2518	04/01/2021	0.00	648.48
122691	28628	FLEETPRIDE INC	04/01/2021	0.00	400.50
122692	07681	GRAINGER, INC	04/01/2021	0.00	256.91
122693	29818	HIAWATHA TREE SERVICE INC.	04/01/2021	0.00	1,950.00
122694	08336	HIRSHFIELDS	04/01/2021	0.00	46.98
122695	09085	ICMA - ROTH IRA - 706260	04/01/2021	0.00	1,198.17
122696	11327	KILLMER ELECTRIC CO INC	04/01/2021	0.00	2,073.22
122697	29919	MCCD	04/01/2021	0.00	5,000.00
122698	13167	MENARDS	04/01/2021	0.00	272.95
122699	13172	METRO ELEVATOR, INC	04/01/2021	0.00	170.00
122700	13760	MTI DISTRIBUTING INC	04/01/2021	0.00	380.54
122701	15521	ON SITE SANITATION	04/01/2021	0.00	1,215.00
122702	30522	OXYGEN FORENSICS INC	04/01/2021	0.00	2,899.00
122703	09084	ICMA RETIREMENT TRUST- 300824	04/01/2021	0.00	3,221.09
122704	19004	SAMARITAN TIRE COMPANY	04/01/2021	0.00	617.94
122705	19117	SCHERER BROS. LUMBER CO.	04/01/2021	0.00	35.55
122706	19520	SNAP PRINT INC	04/01/2021	0.00	312.73
122707	31084	LINDA KAYE SNOUFFER	04/01/2021	0.00	1,050.00
122708	19602	SPS COMPANIES INC	04/01/2021	0.00	68.56
122709	28350	TOWMASTER INC	04/01/2021	0.00	497.68
122710	29466	VERIZON WIRELESS	04/01/2021	0.00	1,489.68
122711	29473	VERIZON WIRELESS	04/01/2021	0.00	340.19
122712	29475	VERIZON WIRELESS	04/01/2021	0.00	105.03
122713	28624	MICHEAL J WHITE	04/01/2021	0.00	263.30
122714	25080	XCEL ENERGY	04/01/2021	0.00	1,234.45
122715	25080	XCEL ENERGY	04/01/2021	0.00	408.13
122716	25080	XCEL ENERGY	04/01/2021	0.00	452.48

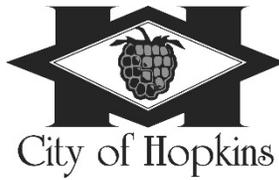
Check No	Vendor No	Vendor Name	Check Date	Void Checks	Check Amount
Total for 4/1/2021:				24.50	53,366.80
122717	29270	A-1 OUTDOOR POWER INC	04/08/2021	0.00	131.96
122718	01328	AIRGAS USA	04/08/2021	0.00	152.95
122719	31087	AK MATERIAL HANDLING SYSTEMS I	04/08/2021	0.00	9,390.67
122720	01543	ANCOM COMMUNICATIONS INC	04/08/2021	0.00	312.06
122721	30660	PATRICIA MAUREEN ANDERSON	04/08/2021	0.00	354.00
122722	28600	APPLE VALLEY FORD LINCOLN	04/08/2021	0.00	54.80
122723	27782	BOUND TREE MEDICAL LLC	04/08/2021	0.00	472.73
122724	29996	GENIE CASTRO	04/08/2021	0.00	122.50
122725	29416	CDW GOVERNMENT	04/08/2021	0.00	6,588.64
122726	03160	CENTERPOINT ENERGY MINNEGASCO	04/08/2021	0.00	37.88
122727	26951	COMCAST	04/08/2021	0.00	12.54
122728	26951	COMCAST	04/08/2021	0.00	139.90
122729	31032	COVERALL NORTH AMERICA	04/08/2021	0.00	3,563.00
122730	03800	CULLIGAN - METRO	04/08/2021	0.00	254.87
122731	28747	CULLIGAN BOTTLED WATER CO	04/08/2021	0.00	189.25
122732	04004	DALCO ENTERPRISES INC	04/08/2021	0.00	375.52
122733	04690	DRISKILLS FOODS	04/08/2021	0.00	10.43
122734	28898	ECM PUBLISHERS INC	04/08/2021	0.00	47.60
122735	05481	EMERGENCY APPARATUS MAINT INC	04/08/2021	0.00	7,601.04
122736	29006	ENTERPRISE FLEET MANAGEMENT	04/08/2021	0.00	2,959.89
122737	29398	ENTERPRISE FLEET MANAGEMENT	04/08/2021	0.00	5,332.08
122738	06008	FASTENAL CO	04/08/2021	0.00	180.20
122739	31076	FERGUSON US HOLDINGS INC	04/08/2021	0.00	136.05
122740	29491	FERGUSON WATERWORKS #2518	04/08/2021	0.00	2,145.97
122741	06567	FORCE AMERICA	04/08/2021	0.00	180.00
122742	30555	MARGARET GONGOLL	04/08/2021	0.00	405.00
122743	07564	GOPHER STATE ONE-CALL, INC	04/08/2021	0.00	201.15
122744	29808	GUARDIAN TRACKING, LLC	04/08/2021	0.00	1,897.00
122745	08001	HACH COMPANY	04/08/2021	0.00	539.52
122746	08004	HANCE HARDWARE, INC	04/08/2021	0.00	642.82
122747	08038	HAWKINS, INC	04/08/2021	0.00	3,478.46
122748	08166	HENNEPIN CTY TREASURER	04/08/2021	0.00	1,939.60
122749	30048	RICH HILL	04/08/2021	0.00	500.00
122750	08576	HOPKINS F.D. RELIEF ASSOC	04/08/2021	0.00	810.00
122751	08620	HOPKINS ROTARY	04/08/2021	0.00	500.00
122752	09002	I-STATE TRUCK CENTER	04/08/2021	0.00	10.56
122753	30768	JAMES DUNCAN AND ASSOCIATES IN	04/08/2021	0.00	2,637.50
122754	30269	JANELLE JASPERS JONES	04/08/2021	0.00	324.00
122755	29249	JR'S ADVANCED RECYCLERS	04/08/2021	0.00	30.00
122756	29059	MANSFIELD OIL COMPANY	04/08/2021	0.00	17,464.44
122757	30005	MEDART- CENTRAL POWER DISTRIBUTI	04/08/2021	0.00	17.56
122758	13167	MENARDS	04/08/2021	0.00	149.98
122759	13207	MENARDS	04/08/2021	0.00	98.65
122760	29025	METERING & TECHNOLOGY SOLUTIC	04/08/2021	0.00	1,650.53
122761	28665	METRO ALARM & LOCK	04/08/2021	0.00	450.00
122762	13192	METROPOLITAN FORD	04/08/2021	0.00	214.91
122763	29177	RENEE A MEUWISSEN	04/08/2021	0.00	345.00
122764	30363	MINNEAPOLIS OXYGEN COMPANY	04/08/2021	0.00	25.36
122765	27576	MN POLLUTION CONTROL AGENCY	04/08/2021	0.00	345.00
122766	29953	MUNICODE	04/08/2021	0.00	836.55
122767	30300	NORDIC SOLAR HOLDCO LLC	04/08/2021	0.00	3,888.36
122768	30600	ROBERT OLSON	04/08/2021	0.00	435.00
122769	26974	O'REILLY AUTO PARTS	04/08/2021	0.00	52.35
122770	16687	PRO-TEC DESIGN INC	04/08/2021	0.00	540.50

Check No	Vendor No	Vendor Name	Check Date	Void Checks	Check Amount
122771	17806	QWEST CORP	04/08/2021	0.00	61.13
122772	18164	RED WING BUSINESS ADVANTAGE AC	04/08/2021	0.00	215.99
122773	19004	SAMARITAN TIRE COMPANY	04/08/2021	0.00	363.46
122774	27124	SHERWIN WILLIAMS	04/08/2021	0.00	33.10
122775	29143	SHRED IT USA	04/08/2021	0.00	59.30
122776	29115	MANUEL SOTELO	04/08/2021	0.00	2,860.00
122777	29200	SPRINGBROOK SOFTWARE INC	04/08/2021	0.00	1,179.50
122778	30091	RAY STAFFORD	04/08/2021	0.00	480.00
122779	29205	CHRIS STRONER	04/08/2021	0.00	360.00
122780	30093	TRANSUNION RISK ALTERNATIVE DA	04/08/2021	0.00	171.00
122781	20687	TRI-STATE BOBCAT INC	04/08/2021	0.00	27.39
122782	29490	VERIZON WIRELESS	04/08/2021	0.00	1,531.83
122783	30017	VERIZON WIRELESS	04/08/2021	0.00	1,497.31
122784	30819	VERIZON WIRELESS	04/08/2021	0.00	200.05
122785	23003	WASTE MANAGEMENT OF WI-MN	04/08/2021	0.00	9,568.00
122786	27900	WATER CONSERVATION SERVICES	04/08/2021	0.00	745.59
122787	25080	XCEL ENERGY	04/08/2021	0.00	137.98
122788	25080	XCEL ENERGY	04/08/2021	0.00	49.29
122789	25080	XCEL ENERGY	04/08/2021	0.00	3,016.95
Total for 4/8/2021:				0.00	103,734.20
122790	01045	ABM EQUIPMENT & SUPPLY LLC	04/15/2021	0.00	743.89
122791	01328	AIRGAS USA	04/15/2021	0.00	171.81
122792	28600	APPLE VALLEY FORD LINCOLN	04/15/2021	0.00	506.52
122793	28602	APPLIED CONCEPTS INC	04/15/2021	0.00	254.00
122794	02031	B & W SPECIALTY COFFEE CO	04/15/2021	0.00	351.74
122795	30899	BAUERS MINNOCO	04/15/2021	0.00	99.52
122796	02811	BUREAU OF CRIMINAL APPREHENSIC	04/15/2021	0.00	750.00
122797	03160	CENTERPOINT ENERGY MINNEGASC	04/15/2021	0.00	9,594.85
122798	28981	CHESTNUT CAMBRONNE PA	04/15/2021	0.00	18,186.85
122799	30127	CINTAS CORPORATION NO. 2	04/15/2021	0.00	312.83
122800	30038	CIVICPLUS, INC.	04/15/2021	0.00	6,320.46
122801	27487	CLIFTON LARSON ALLEN	04/15/2021	0.00	1,548.75
122802	26951	COMCAST	04/15/2021	0.00	555.34
122803	29981	CORE & MAIN LP	04/15/2021	0.00	842.08
122804	31032	COVERALL NORTH AMERICA	04/15/2021	0.00	1,860.50
122805	03800	CULLIGAN - METRO	04/15/2021	0.00	335.84
122806	03808	CUMMINS SALES AND SERVICE	04/15/2021	0.00	1,933.21
122807	29520	ECOLAB	04/15/2021	0.00	197.92
122808	05481	EMERGENCY APPARATUS MAINT INC	04/15/2021	0.00	255.69
122809	29491	FERGUSON WATERWORKS #2518	04/15/2021	0.00	2,641.38
122810	28978	G & B ENVIRONMENTAL INC	04/15/2021	0.00	312.90
122811	31033	G & J AWNING METRO INC	04/15/2021	0.00	6,100.00
122812	29377	GRAINGER, INC	04/15/2021	0.00	33.42
122813	29820	GROUP HEALTH PLAN INC	04/15/2021	0.00	1,124.00
122814	08001	HACH COMPANY	04/15/2021	0.00	444.59
122815	08038	HAWKINS, INC	04/15/2021	0.00	794.00
122816	29748	HENNEPIN COUNTY PUBLIC WORKS	04/15/2021	0.00	10,019.50
122817	08166	HENNEPIN CTY TREASURER	04/15/2021	0.00	5,040.15
122818	08179	HENNEPIN CTY TREASURER	04/15/2021	0.00	1,444.92
122819	08186	HENNEPIN CTY TREASURER	04/15/2021	0.00	174.00
122820	08223	HENNEPIN CTY TREASURER	04/15/2021	0.00	12,739.17
122821	27454	HENNEPIN CTY TREASURER	04/15/2021	0.00	8,365.05
122822	08243	HENNEPIN HEALTHCARE	04/15/2021	0.00	300.00
122823	08336	HIRSHFIELDS	04/15/2021	0.00	14.59
122824	08570	HOPKINS AUTO BODY	04/15/2021	0.00	4,463.80

Check No	Vendor No	Vendor Name	Check Date	Void Checks	Check Amount
122825	08576	HOPKINS F.D. RELIEF ASSOC	04/15/2021	0.00	90.00
122826	08625	HOPKINS POLICE ASSOCIATION	04/15/2021	0.00	1,320.00
122827	08620	HOPKINS ROTARY	04/15/2021	0.00	250.00
122828	09085	ICMA - ROTH IRA - 706260	04/15/2021	0.00	1,198.17
122829	29345	IMPACT MAILING OF MN	04/15/2021	0.00	3,732.26
122830	09578	INNOVATIVE OFFICE SOLUTIONS	04/15/2021	0.00	775.23
122831	09534	INTERSTATE BATTERY SYSTEM	04/15/2021	0.00	19.90
122832	09535	INTERSTATE POWER SYSTEMS INC	04/15/2021	0.00	8,996.53
122833	12012	LAW ENFORCEMENT LABOR SERVICE	04/15/2021	0.00	508.00
122834	03369	LEAGUE OF MN CITIES	04/15/2021	0.00	325.00
122835	12160	LEAGUE OF MN CITIES	04/15/2021	0.00	702.34
122836	29529	LEXISNEXIS RISK SOLUTIONS	04/15/2021	0.00	88.41
122837	30392	CIGNA LIFE INS COMP OF AMERICA -	04/15/2021	0.00	423.32
122838	30391	CIGNA LIFE INS COMP OF AMERICA -	04/15/2021	0.00	2,680.53
122839	30390	CIGNA LIFE INS COMP OF AMERICA -	04/15/2021	0.00	2,642.52
122840	30023	CIGNA LIFE INS COMP OF N AMERICA	04/15/2021	0.00	917.70
122841	30377	MCA	04/15/2021	0.00	405.00
122842	13179	METROPOLITAN COUNCIL	04/15/2021	0.00	123,225.39
122843	13354	MN BENEFIT ASSOCIATION	04/15/2021	0.00	37.18
122844	13760	MTI DISTRIBUTING INC	04/15/2021	0.00	54.53
122845	14960	NYSTROM PUBLISHING CO	04/15/2021	0.00	277.49
122846	29470	ONSITE MEDICAL SERVICES	04/15/2021	0.00	3,355.00
122847	26974	O'REILLY AUTO PARTS	04/15/2021	0.00	143.62
122848	16166	PETTY CASH	04/15/2021	0.00	392.65
122849	04573	QUALITY RESOURCE GROUP INC	04/15/2021	0.00	41.23
122850	18327	REINDERS INC	04/15/2021	0.00	1,435.21
122851	09084	ICMA RETIREMENT TRUST- 300824	04/15/2021	0.00	3,228.68
122852	31088	RIGHTMARK LLC	04/15/2021	0.00	124.40
122853	19287	SHORT ELLIOTT HENDRICKSON INC	04/15/2021	0.00	583.71
122854	19567	SOUTHWEST SUB CABLE COMM	04/15/2021	0.00	2,644.00
122855	30495	SPEEDWAY LLC	04/15/2021	0.00	50.00
122856	19766	STAR TRIBUNE	04/15/2021	0.00	159.77
122857	29969	THREE RIVERS PARK DISTRICT	04/15/2021	0.00	302.50
122858	20560	TOLL GAS & WELDING SUPPLY	04/15/2021	0.00	11.35
122859	20687	TRI-STATE BOBCAT INC	04/15/2021	0.00	167.68
122860	20887	TWIN CITY WATER CLINIC	04/15/2021	0.00	272.00
122861	03440	ULTIMATE SAFETY CONCEPTS INC	04/15/2021	0.00	199.87
122862	21523	UNION LOCAL 49	04/15/2021	0.00	770.00
122863	28837	UNIVERSAL ATHLETIC	04/15/2021	0.00	400.95
122864	29458	VERIZON WIRELESS	04/15/2021	0.00	3,586.26
122865	29489	VERIZON WIRELESS	04/15/2021	0.00	35.01
122866	31040	VSP	04/15/2021	0.00	427.62
122867	28624	MICHEAL J WHITE	04/15/2021	0.00	234.45
122868	25080	XCEL ENERGY	04/15/2021	0.00	12,907.50
Total for 4/15/2021:				0.00	278,976.23
122869	29535	ADVANCED ENGINEERING	04/23/2021	0.00	6,366.25
122870	01543	ANCOM COMMUNICATIONS INC	04/23/2021	0.00	523.50
122871	UB*00629	KRISTIN ANDERSON	04/23/2021	0.00	26.59
122872	30194	ATLAS BUSINESS SOLUTIONS, INC.	04/23/2021	0.00	950.40
122873	30481	BATTERIES PLUS BULBS #018	04/23/2021	0.00	38.97
122874	02162	BECKER ARENA PRODUCTS, INC	04/23/2021	0.00	293.20
122875	14571	BLUE TARP FINANCIAL INC	04/23/2021	0.00	585.08
122876	02563	BOLTON & MENK, INC	04/23/2021	0.00	10,846.50
122877	31090	JAMES BYRNE	04/23/2021	0.00	125.54
122878	28987	CENTER FOR ENERGY & ENVIRONMN	04/23/2021	0.00	35.00



Check No	Vendor No	Vendor Name	Check Date	Void Checks	Check Amount
122933	28422	ADVANCED IMAGING SOLUTIONS	04/28/2021	0.00	4,569.81
122934	30728	AMERICAN FEDERATION OF STATE, C	04/28/2021	0.00	1,272.63
122935	31061	APPLE AUTOS COMMERCIAL SALES &	04/28/2021	0.00	178,440.70
122936	27458	ASSOCIATED COURIER	04/28/2021	0.00	33.87
122937	02019	BARNUM COMPANIES INC	04/28/2021	0.00	984.25
122938	30899	BAUERS MINNOCO	04/28/2021	0.00	70.00
122939	14571	BLUE TARP FINANCIAL INC	04/28/2021	0.00	89.98
122940	27782	BOUND TREE MEDICAL LLC	04/28/2021	0.00	632.84
122941	02695	BRYAN ROCK PRODUCTS	04/28/2021	0.00	188.06
122942	30127	CINTAS CORPORATION NO. 2	04/28/2021	0.00	509.00
122943	27467	CITY OF ST. PAUL	04/28/2021	0.00	384.65
122944	26951	COMCAST	04/28/2021	0.00	212.37
122945	03640	CPT SERVICES, INC	04/28/2021	0.00	70.00
122946	28898	ECM PUBLISHERS INC	04/28/2021	0.00	83.30
122947	30330	FAE LSE 6 LLC	04/28/2021	0.00	6,367.38
122948	30601	FAE LSE 8 LLC	04/28/2021	0.00	5,546.49
122949	30555	MARGARET GONGOLL	04/28/2021	0.00	405.00
122950	29377	GRAINGER, INC	04/28/2021	0.00	47.04
122951	08038	HAWKINS, INC	04/28/2021	0.00	3,058.65
122952	08401	HILDI INC	04/28/2021	0.00	1,050.00
122953	30048	RICH HILL	04/28/2021	0.00	500.00
122954	08576	HOPKINS F.D. RELIEF ASSOC	04/28/2021	0.00	90.00
122955	09801	I.U.O.E. CENTRAL PENSION FUND	04/28/2021	0.00	2,640.00
122956	09085	ICMA - ROTH IRA - 706260	04/28/2021	0.00	1,198.17
122957	29201	KG LANDSCAPE MANAGEMENT	04/28/2021	0.00	11,806.57
122958	29804	SCOTT LAURSEN	04/28/2021	0.00	29.94
122959	03369	LEAGUE OF MN CITIES	04/28/2021	0.00	90.00
122960	29177	RENEE A MEUWISSEN	04/28/2021	0.00	345.00
122961	30129	MINNESOTA AIR, INC.	04/28/2021	0.00	51.19
122962	30600	ROBERT OLSON	04/28/2021	0.00	435.00
122963	15521	ON SITE SANITATION	04/28/2021	0.00	1,205.00
122964	26974	O'REILLY AUTO PARTS	04/28/2021	0.00	20.31
122965	16687	PRO-TEC DESIGN INC	04/28/2021	0.00	321.38
122966	18327	REINDERS INC	04/28/2021	0.00	4,420.25
122967	08568	RESOURCE WEST	04/28/2021	0.00	23.10
122968	09084	ICMA RETIREMENT TRUST- 300824	04/28/2021	0.00	3,220.17
122969	19085	SCHINDLER ELEVATOR CORP	04/28/2021	0.00	377.49
122970	30091	RAY STAFFORD	04/28/2021	0.00	480.00
122971	29205	CHRIS STRONER	04/28/2021	0.00	360.00
122972	20687	TRI-STATE BOBCAT INC	04/28/2021	0.00	301.29
122973	29466	VERIZON WIRELESS	04/28/2021	0.00	1,139.83
122974	30017	VERIZON WIRELESS	04/28/2021	0.00	1,497.66
122975	22563	VOSS LIGHTING	04/28/2021	0.00	70.00
122976	23720	WSB & ASSOCIATES INC	04/28/2021	0.00	630.00
122977	26320	ZIEGLER, INC	04/28/2021	0.00	406.65
Total for 4/28/2021:				0.00	235,675.02
Report Total (307 checks):				1,149.50	1,103,971.58



May 4, 2021

Council Report 2021-049

**PUBLIC HEARING ON THE APPROVAL OF A HOUSING PROGRAM FOR A MULTI FAMILY HOUSING DEVELOPMENT AND THE ISSUANCE OF MULTIFAMILY HOUSING REVENUE BONDS FOR THE BENEFIT OF RASPBERRY RIDGE LIMITED PARTNERSHIP**

**Proposed Action**

Approve Resolution 2021-026 Approving the Issuance of Conduit Revenue Bonds by the City of Hopkins for the Benefit of Raspberry Ridge Limited Partnership.

**Overview**

Pursuant to Minnesota Statutes, Sections 462C, as amended (the “Act”), a City is authorized to issue revenue bonds to provide financing for multifamily rental housing developments.

Raspberry Ridge Limited Partnership has applied for and received authorization from Minnesota Management and Budget to issue up to \$22 million of housing revenue bonds. They are asking the City of Hopkins to issue \$21.3 million of conduit revenue bonds on their behalf. The bonds will be used to acquire, rehabilitate, construct and equip a 101-unit existing multifamily rental housing facility located at 27 Fourteenth Avenue North (Raspberry Ridge I) and a 43-unit new multifamily rental housing facility located the southwest corner of Mainstreet and Sixth Avenue South (Raspberry Ridge II).

City Council is required to conduct a public hearing on the issuance of the bonds. Following the public hearing, City Council will be asked to approve a resolution which approves the issuance of bonds, adopts a housing program and authorizes the execution of loan documents.

The Bonds will not be an obligation of the City. They not secured by or payable from any property, assets or taxing power of the city. They are secured solely by the revenues and other security provided by Raspberry Ridge Limited Partnership. The bonds are not subject to any debt limitations imposed on the City and will not have any adverse impact on the City’s credit rating, even in the event of financial difficulties of Raspberry Ridge Limited Partnership.

Julie Eddington from Kennedy & Graven, the City’s bond counsel and Dan Walsh from Raspberry Ridge Limited Partnership will be present on May 4<sup>th</sup> for any questions.

**Supporting Information**

- Letter from Kennedy & Graven
- Resolution No. 2021-026

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Nick Bishop, CPA  
Finance Director



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Email: [jeddington@kennedy-graven.com](mailto:jeddington@kennedy-graven.com)

April 29, 2021

Nick Bishop, Finance Director  
City of Hopkins  
1010 First Street South  
Hopkins, MN 55343

Re: Resolution approving the issuance of conduit revenue bonds by the City of Hopkins for the benefit of Raspberry Ridge Limited Partnership

Dear Nick,

Raspberry Ridge Limited Partnership, a Minnesota limited partnership (the "Borrower"), has proposed to acquire, rehabilitate, construct, and equip an approximately 101-unit existing multifamily rental housing facility and facilities functionally related and subordinate thereto located at 27 Fourteenth Avenue North in the City of Hopkins (the "City"), known as Raspberry Ridge I (the "Rehabilitation Project"), and an approximately 43-unit new multifamily rental housing facility and facilities functionally related and subordinate thereto located at the southwest corner of Main Street and Sixth Avenue South in the City, to be known as Raspberry Ridge II (the "Construction Project," and together with the Rehabilitation Project, the "Project"), for occupancy by individuals and families of low and moderate income. In order to finance the Project, the Borrower is requesting that the City issue one or more series of tax-exempt or taxable conduit revenue bonds (the "Bonds") in the principal amount not to exceed \$21,300,000.

The Bonds will be considered "housing bonds" issued pursuant to Minnesota Statutes, Chapter 462C, as amended (the "Act"). Pursuant to Section 462C.04, subdivision 2 of the Act and Section 147(f) of the Internal Revenue Code of 1986, as amended (the "Code"), the City Council is required to conduct a public hearing on the issuance of the Bonds, which will be held on May 4, 2021. Following the public hearing, the City Council will be asked to consider the enclosed resolution, which provides final approval to the issuance of the Bonds, adopts a housing program required under Section 462C.04, subdivision 2 of the Act, and authorizes the execution of loan documents and related documents.

The Bonds will be secured solely by the revenues derived from a loan agreement (the "Loan Agreement") to be executed by the City and the Borrower and from other security provided by the Borrower, which will include a promissory note and may include a mortgage, a guaranty, and a pledge of tax credit equity. The Bonds will not constitute a general or moral obligation of the City and will not be secured by or payable from any property or assets of the City (other than the interests of the City in the Loan Agreement) and will not be secured by any taxing power of the City. The Bonds will not be subject to any debt limitation imposed on the City, and the issuance of the Bonds will not have any adverse impact

on the credit rating of the City, even in the event that the Borrower encounters financial difficulties with respect to the Project.

The Bonds have received allocation of bonding authority from the State of Minnesota pursuant to the requirements of Section 146 of the Code. The Bonds will be “private activity bonds” within the meaning of Section 141(a) of the Code but will be “exempt facility bonds” the net proceeds of which are to be used to provide a “qualified residential rental project” within the meaning of Sections 142(a)(7) and 143(d) of the Code and will not affect the City’s ability to designate up to \$10,000,000 in tax-exempt bonds as “qualified tax-exempt obligations” (or “bank-qualified bonds”) for calendar year 2021.

The Borrower will agree to pay the out-of-pocket expenses of the City with respect to this transaction as well as the City’s administrative fee.

I will attend the City Council meeting on May 4, 2021 by video or telephone and can answer any questions that may arise during the meeting. Please contact me with any questions you may have prior to the City Council meeting.

Sincerely,

Julie A. Eddington

**CITY OF HOPKINS, MINNESOTA**

**RESOLUTION NO. 2021-026**

**RESOLUTION AUTHORIZING THE ISSUANCE, SALE, AND DELIVERY OF MULTIFAMILY HOUSING REVENUE BONDS FOR THE BENEFIT OF RASPBERRY RIDGE LIMITED PARTNERSHIP AND AUTHORIZING THE EXECUTION AND DELIVERY OF DOCUMENTS RELATED THERETO**

BE IT RESOLVED by the City Council (the “City Council”) of the City of Hopkins, Minnesota (the “City”), as follows:

Section 1.       Recitals.

1.01. Pursuant to Minnesota Statutes, Chapter 462C, as amended (the “Act”), the City is authorized to issue revenue bonds to provide funds to finance multifamily rental housing developments located within the City.

1.02. Raspberry Ridge Limited Partnership, a Minnesota limited partnership, or its assigns or affiliates (the “Borrower”), has proposed that the City issue one or more series of taxable or tax-exempt multifamily housing revenue bonds (the “Bonds”) in the approximate aggregate principal amount not to exceed \$21,300,000, for the benefit of the Borrower, for the purposes of financing all or a portion of (i) the acquisition, rehabilitation, construction, and equipping of an approximately 101-unit existing multifamily rental housing facility and facilities functionally related and subordinate thereto located at 27 Fourteenth Avenue North in the City, known as Raspberry Ridge I (the “Rehabilitation Project”), and an approximately 43-unit new multifamily rental housing facility and facilities functionally related and subordinate thereto located at the southwest corner of Main Street and Sixth Avenue South in the City, to be known as Raspberry Ridge II (the “Construction Project,” and together with the Rehabilitation Project, the “Project”), for occupancy by individuals and families of low and moderate income; (ii) one or more reserve funds to secure the timely payment of the Bonds, if necessary; (iii) capitalized interest on the Bonds during the rehabilitation and construction of the Project, if necessary; and (iv) the costs of issuing the Bonds.

1.03. In accordance with the Act, the City has prepared a housing program (the “Housing Program”) to authorize the City’s issuance of the Bonds to finance the acquisition, rehabilitation, construction, and equipping of the Project. The Housing Program was prepared and submitted to Metropolitan Council for its review and comment.

1.04. In accordance with the requirements of Minnesota Statutes, Chapter 474A, as amended, the Bonds received an allocation of bonding authority from the State of Minnesota in the principal amount of \$21,300,000, with \$13,900,000 in principal allocated to the Rehabilitation Project and \$7,400,000 in principal allocated to the Construction Project.

1.05. A notice of public hearing (the “Public Notice”) was published in the *Sun Sailor*, the official newspaper of and a newspaper of general circulation in the City, with respect to the required public hearing under Section 147(f) of the Internal Revenue Code of 1986, as amended (the “Code”), and Section 462C.04, subdivision 2 of the Act.

1.06. The Public Notice was published at least fifteen (15) days before the regularly scheduled meeting of the City Council, and on the date hereof, the City Council conducted a public hearing at which

a reasonable opportunity was provided for interested individuals to express their views, both orally and in writing.

Section 2.       Housing Program. The Housing Program, in the form substantially on file with the City, is hereby approved.

Section 3.       The Bonds.

3.01. The Borrower has requested that the City issue, sell, and deliver the Bonds in the approximate principal amount not to exceed \$21,300,000. The Bonds are proposed to be sold publicly and underwritten by Colliers Securities LLC, a Delaware limited liability company (the “Underwriter”).

3.02. The Bonds are proposed to be issued pursuant to this resolution, the Act, and an Indenture of Trust (the “Indenture”) between the City and U.S. Bank National Association, a national banking association (the “Trustee”).

3.03. The proceeds derived from the sale of the Bonds will be loaned by the City to the Borrower (the “Loan”) pursuant to the terms of a Loan Agreement (the “Loan Agreement”) between the City and the Borrower.

3.04. The Bonds and the interest on the Bonds (i) shall be payable solely from the revenues pledged therefor under the Loan Agreement and additional sources of revenue provided by or on behalf of the Borrower; (ii) shall not constitute a debt of the City within the meaning of any constitutional or statutory limitation; (iii) shall not constitute or give rise to a pecuniary liability of the City or a charge against its general credit or taxing powers; (iv) shall not constitute a charge, lien, or encumbrance, legal or equitable, upon any property of the City other than the City’s interest in the Loan Agreement; and (v) shall not constitute a general or moral obligation of the City.

3.05. The loan repayments to be made by the Borrower under the Loan Agreement will be fixed so as to produce revenue sufficient to pay the principal of, premium, if any, and interest on the Bonds when due. Such loan repayments will be assigned to the Trustee under the terms of the Indenture.

3.06. The Borrower’s repayment obligations in respect of the Loan will be evidenced by a Promissory Note from the Borrower to the City and assigned to the Trustee and may be secured by one or more mortgage agreements or guaranties.

3.07. The City acknowledges, finds, determines, and declares that the issuance of the Bonds is authorized by the Act and is consistent with the purposes of the Act and that the issuance of the Bonds, and the other actions of the City under the Indenture, the Loan Agreement, and this resolution constitute a public purpose and are in the interests of the City. In authorizing the issuance of the Bonds to finance the Project and the related costs, the City’s purpose is and the effect thereof will be to promote the public welfare of the City and its residents by providing multifamily housing developments for low or moderate income residents of the City and otherwise furthering the purposes and policies of the Act.

3.08. For the purposes set forth above, there is hereby authorized the issuance, sale, and delivery of the Bonds in the approximate aggregate principal amount not to exceed \$21,300,000. The Bonds shall bear interest at the rates, shall be designated, shall be numbered, shall be dated, shall mature, shall be in the aggregate principal amount, shall be subject to redemption prior to maturity, shall be in such form, and shall have such other terms, details, and provisions as are prescribed in the Indenture, substantially in the form now on file with the City, with the amendments referenced herein. The City

hereby authorizes all or a portion of the Bonds to be issued as “tax-exempt bonds,” the interest on which is not includable in gross income for federal and State of Minnesota income tax purposes.

All of the provisions of the Bonds, when executed as authorized herein, shall be deemed to be a part of this resolution as fully and to the same extent as if incorporated verbatim herein and shall be in full force and effect from the date of execution and delivery thereof. The Bonds shall be substantially in the form of the Indenture on file with the City, which form is hereby approved, with such necessary and appropriate variations, omissions, and insertions (including changes to the aggregate principal amount of the Bonds, the stated maturities of the Bonds, the interest rates on the Bonds and the terms of redemption of the Bonds) as the Mayor and the City Manager, in their discretion, shall determine. The execution of the Bonds with the manual or facsimile signatures of the Mayor and the City Manager and the delivery of the Bonds by the City shall be conclusive evidence of such determination.

3.09. The Bonds shall be special, limited obligations of the City payable solely from the revenues provided by the Borrower pursuant to the Loan Agreement and other funds pledged pursuant to the Indenture. The City Council hereby authorizes and directs the Mayor and the City Manager to execute the Bonds in accordance with the terms thereof.

3.10. All of the provisions of the Indenture, when executed as authorized herein, shall be deemed to be a part of this resolution as fully and to the same extent as if incorporated verbatim herein and shall be in full force and effect from the date of execution and delivery thereof. The Indenture shall be substantially in the form on file with the City, which is hereby approved, with such necessary and appropriate variations, omissions and insertions as do not materially change the substance thereof, and as the Mayor and the City Manager, in their discretion, shall determine, and the execution thereof by the Mayor and the City Manager shall be conclusive evidence of such determination. The Mayor and the City Manager are hereby authorized and directed to execute the Indenture, and to deliver the Indenture to the Trustee, and hereby authorizes and directs the execution of the Bonds in accordance with the terms of the Indenture, and hereby provides that the Indenture shall provide the terms and conditions, covenants, rights, obligations, duties, and agreements of the owners of the Bonds, the City, and the Trustee as set forth therein.

3.11. The Mayor and the City Manager are hereby authorized and directed to execute and deliver the Loan Agreement, a Bond Purchase Agreement between the City, the Borrower, and the Underwriter, and all other documents and assignments related to the Loan required to be executed by the City. All of the provisions of such documents, when executed and delivered as authorized herein, shall be deemed to be a part of this resolution as fully and to the same extent as if incorporated verbatim herein and shall be in full force and effect from the date of execution and delivery thereof. The aforementioned documents shall be substantially in the forms on file with the City which are hereby approved, with such omissions and insertions as do not materially change the substance thereof, and as the Mayor and the City Manager, in their discretion, shall determine, and the execution thereof by the Mayor and the City Manager shall be conclusive evidence of such determinations.

3.12. The City will not participate in the preparation of the Preliminary Official Statement or the Official Statement (together, the “Official Statement”) relating to the offer and sale of the Bonds and will make no independent investigation with respect to the information contained therein, including the appendices thereto, except for the information set forth in the Official Statement regarding the City and certain matters relating to litigation, and the City assumes no responsibility for the sufficiency, accuracy, or completeness of such information. Subject to the foregoing, the City hereby consents to the distribution and the use by the Underwriter of the Official Statement in connection with the offer and sale of the Bonds. The Official Statement is the sole material consented to by the City for use in connection with the offer and sale of the Bonds.

3.13. The City hereby authorizes the Borrower to provide such security for payment of its obligations under the Loan Agreement and for payment of the Bonds, and the City hereby approves the execution and delivery of such security.

Section 4. Additional Findings and Certifications.

4.01. The Bonds are authorized to be issued in one or more series in the approximate aggregate principal amount not to exceed \$21,300,000.

4.02. To ensure compliance with certain rental and occupancy restrictions imposed by the Act and Section 142(d) of the Code, and to ensure compliance with certain restrictions imposed by the City, the Mayor and City Manager are also hereby authorized and directed to execute and deliver a Regulatory Agreement with respect to the Rehabilitation Project (the "Rehabilitation Regulatory Agreement") between the City, the Borrower, and the Trustee and a Regulatory Agreement with respect to the Construction Project (the "Construction Regulatory Agreement," and together with the Rehabilitation Regulatory Agreement, the "Regulatory Agreements") between the City, the Borrower, and the Trustee. All of the provisions of the Regulatory Agreements, when executed and delivered as authorized herein, shall be deemed to be a part of this resolution as fully and to the same extent as if incorporated verbatim herein and shall be in full force and effect from the date of execution and delivery thereof. The Regulatory Agreements shall be substantially in the forms on file with the City which are hereby approved, with such omissions and insertions as do not materially change the substance thereof, or as the Mayor and the City Manager, in their discretion, shall determine, and the execution thereof by the Mayor and the City Manager shall be conclusive evidence of such determination.

4.03. The Mayor and the City Manager are authorized and directed to execute any additional documents deemed necessary to carry out the intentions of this resolution and to complete the financing described herein, so long as City staff and legal counsel approve such documents.

4.04. The Mayor, the City Manager, and the Finance Director of the City are hereby authorized to execute and deliver, on behalf of the City, such other documents and certificates as are necessary or appropriate in connection with the issuance, sale, and delivery of the Bonds, including various certificates of the City, an Information Return for Tax-Exempt Private Activity Bond Issues, Form 8038, an endorsement of the City to the tax certificate of the Borrower, and similar documents, and all other documents and certificates as shall be necessary and appropriate in connection with the issuance, sale, and delivery of the Bonds. The City hereby authorizes Kennedy & Graven, Chartered, as bond counsel ("Bond Counsel"), to prepare, execute, and deliver its approving legal opinions with respect to the Bonds.

4.05. Except as otherwise provided in this resolution, all rights, powers, and privileges conferred and duties and liabilities imposed upon the City or the City Council by the provisions of this resolution or of the aforementioned documents shall be exercised or performed by the City or by such members of the City Council, or such officers, board, body or agency thereof as may be required or authorized by law to exercise such powers and to perform such duties.

No covenant, stipulation, Bond or agreement herein contained or contained in the aforementioned documents shall be deemed to be a covenant, stipulation, Bond or agreement of any member of the City Council, or any officer, agent or employee of the City in that person's individual capacity, and neither the City Council nor any officer or employee executing the Bonds shall be personally liable on the Bonds or be subject to any personal liability or accountability by reason of the issuance thereof.

No provision, covenant or agreement contained in the aforementioned documents, the Bonds, or in any other document relating to the Bonds, and no Bond therein or herein imposed upon the City or the breach thereof, shall constitute or give rise to a general or moral Bond of the City or any pecuniary liability of the City or any charge upon its general credit or taxing powers. In making the agreements, provisions, covenants, and representations set forth in such documents, the City has not obligated itself to pay or remit any funds or revenues, other than funds and revenues as described herein which are to be applied to the payment of the Bonds, as provided therein.

4.06. Except as herein otherwise expressly provided, nothing in this resolution or in the aforementioned documents expressed or implied is intended or shall be construed to confer upon any person or firm or corporation, other than the City, any holder of the Bonds issued under the provisions of this resolution, any right, remedy or claim, legal or equitable, under and by reason of this resolution or any provisions hereof, this resolution, the aforementioned documents, and all of their provisions being intended to be and being for the sole and exclusive benefit of the City, and any holder from time to time of the Bonds issued under the provisions of this resolution.

4.07. In case any one or more of the provisions of this resolution, other than the provisions contained in the first sentence of Section 3.09 hereof, or of the aforementioned documents, or of the Bonds issued hereunder shall for any reason be held to be illegal or invalid, such illegality or invalidity shall not affect any other provision of this resolution, or of the aforementioned documents, or of the Bonds, but this resolution, the aforementioned documents, and the Bonds shall be construed and endorsed as if such illegal or invalid provisions had not been contained therein.

4.08. The Bonds, when executed and delivered, shall contain a recital that they are issued pursuant to the Act, and such recital shall be conclusive evidence of the validity of the Bonds and the regularity of the issuance thereof, and that all acts, conditions, and things required by the laws of the State of Minnesota relating to the adoption of this resolution, to the issuance of the Bonds, and to the execution of the aforementioned documents to happen, exist, and be performed precedent to the execution of the aforementioned documents have happened, exist, and have been performed as so required by law.

4.09. The officers of the City, Bond Counsel, other attorneys, engineers, and other agents or employees of the City are hereby authorized to do all acts and things required of them by or in connection with this resolution, the aforementioned documents, and the Bonds, for the full, punctual, and complete performance of all the terms, covenants, and agreements contained in the Bonds, the aforementioned documents, and this resolution. If for any reason the Mayor or the City Manager is unable to execute and deliver the documents referred to in this resolution, such documents may be executed by any member of the City Council or any officer of the City delegated the duties of the Mayor or the City Manager with the same force and effect as if such documents were executed and delivered by the Mayor or the City Manager.

4.10. The Borrower shall pay the administrative fee of the City on the date of issuance of the Bonds as provided in the Loan Agreement. The Borrower will also pay, or, upon demand, reimburse the City for payment of, any and all costs incurred by the City in connection with the Project and the issuance of the Bonds, whether or not the Bonds are issued, including any costs for attorneys' fees.

Section 5. Effective Date. This resolution shall be in full force and effect from and after its approval. The approvals contained in the resolution are effective for one year after the date hereof.

Approved by the City Council of the City of Hopkins, Minnesota this 4<sup>th</sup> day of May, 2021.

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Jason Gadd, Mayor

ATTEST:

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Amy Domeier, City Clerk

May 4, 2021



City Council Report 2021-048

## **Hopkins Village Addition Alley Easement Vacation**

### **Proposed Action**

Move to adopt Resolution 2021-025, approving the first reading of Ordinance 2021-1169 vacating an alley easement over Hopkins Village Addition.

### **Overview**

The petitioner, Raspberry Ridge Limited Partnership, on behalf of Community Housing Development Corporation, requests vacation of the existing easement for public alley and thoroughfare purposes in favor of the City of Hopkins over Hopkins Village Addition. In this case, vacation of the existing alley easement is necessary to prepare the site for future redevelopment. As a result, staff finds no continuing public need for the existing alley easement and recommends the City Council approve this request.

### **Primary Issues to Consider**

- Background
- Alternatives

### **Supporting Documents**

- Resolution 2021-025
- Ordinance 2021-1169
- Raspberry Ridge II Site Map – Proposed & Existing Public Alley Easement Areas

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Jason Lindahl, AICP  
City Planner

Financial Impact: \$ _____ N/A _____ Budgeted: _____ Y/N _____ Source: _____ Related Documents (CIP, ERP, etc.): _____ Notes:
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**Background**

In March of 2021, Trellis Community Housing Corporation (Raspberry Ridge Limited Partnership) received land use approval to redevelop the subject property into the Raspberry Ridge II apartment building. The Raspberry Ridge II plans call for a 4-story, 43-unit infill apartment building on what is currently the surface parking lot for the existing Hopkins Village development.

The Raspberry Ridge II redevelopment plans call for a redesigned parking lot that includes a new drive lane that will provide continued public access to the existing alley to the south (see attached plan). Given the petitioner has agreed dedicate to the City a new alley easement consistent with the approved Raspberry Ridge II redevelopment plans that will provide continued public access to the existing alley to the south, staff agrees the existing alley easement is no longer necessary.

**Alternatives**

1. **Vote to approve the first reading of Ordinance 2021-1169.** By approving the first reading of this ordinance, this application will move forward for a second reading and formal approval at the May 18, 2021 City Council meeting.
2. **Vote to deny the first reading of Ordinance 2021-1169.** By denying the first reading of this ordinance, this application will not move forward for formal approval at the May 18, 2021 City Council meeting. Should the City Council consider this option, it must also identify specific findings that support this alternative.
3. **Continue for further information.** If the City Council concludes that further information is needed, the items should be continued.

**CITY OF HOPKINS  
HENNEPIN COUNTY, MINNESOTA**

**RESOLUTION NO. 2021-025**

**A RESOLUTION APPROVING THE FIRST READING OF ORDINANCE 2021-1169  
VACATING AN ALLEY EASEMENT OVER HOPKINS VILLAGE ADDTION**

**WHEREAS**, on April 20, 2021, pursuant to a petition from Raspberry Ridge Limited Partnership, a Minnesota limited partnership, on behalf of Community Housing Development Corporation, a Minnesota nonprofit corporation, the Hopkins City Council was presented with Ordinance 2021-1169 regarding the proposed vacation of an easement for public alley and thoroughfare purposes in favor of the City of Hopkins, which was granted and conveyed via that certain quit claim deed, dated April 1, 1971 and filed April 9, 1971 as Document Number 3878185, which is described therein as lying within the North 20 feet of the South 21 feet of Lot 8, Block 2, West Minneapolis, Hennepin County (the “Easement”).

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Hopkins as follows:

1. That the City Council hereby approves the first reading of Ordinance 2021-1169.
2. Pursuant to Hopkins City Charter, section 12.06, a duly noticed public hearing shall be held during the regular city council meeting on May 4, 2021 in order to allow public input regarding the proposed vacation of the Easement.
3. Following the aforementioned public hearing, City staff shall present Ordinance 2021-1169 for a second reading, as required by the Hopkins City Charter.

Dated: May 4, 2021

\_\_\_\_\_  
Jason Gadd, Mayor

ATTEST:

\_\_\_\_\_  
Amy Domeier, City Clerk

**CITY OF HOPKINS  
COUNTY OF HENNEPIN**

**ORDINANCE NO. 2021-1169**

**ORDINANCE VACATING AN ALLEY EASEMENT OVER  
HOPKINS VILLAGE ADDITION**

**THE CITY COUNCIL OF THE CITY OF HOPKINS HEREBY ORDAINS AS FOLLOWS:**

**SECTION 1.** Pursuant to a petition from Raspberry Ridge Limited Partnership, a Minnesota limited partnership (“Petitioner”), on behalf of Community Housing Development Corporation, a Minnesota nonprofit corporation, the easement for public alley and thoroughfare purposes in favor of the City of Hopkins, granted and conveyed via that certain quit claim deed, dated April 1, 1971 and filed April 9, 1971 as Document Number 3878185, which is described therein as lying within the North 20 feet of the South 21 feet of Lot 8, Block 2, West Minneapolis, Hennepin County, is hereby vacated, subject to the following condition: the execution by the requisite fee owners and recordation of a new alley easement that meets all requirements of the city attorney, as otherwise required under that certain planned unit development (PUD) agreement entered into by Petitioner and the City of Hopkins.

**SECTION 2.** The effective date of this ordinance shall be the date of publication, although the easement vacation shall not take effect until the aforementioned condition is satisfied, after which the city clerk shall execute, present, and have filed the requisite notice of completion related to these proceedings.

First Reading:	May 4, 2021
Second Reading:	May 18, 2021
Date of Publication:	May 27, 2021
Date Ordinance Takes Effect:	May 27, 2021

By: \_\_\_\_\_  
Jason Gadd, Mayor

ATTEST:

\_\_\_\_\_  
Amy Domeier, City Clerk

**MAIN STREET**

N89°40'32"E 274.4432"E 137.20

NORTHWEST CORNER  
OF LOT 2, BLOCK 1,  
HOPKINS VILLAGE

H O P K I N S

7TH AVENUE SOUTH

N2°58'02"E 288.20

N3°05'50"E 223.60

6TH AVENUE SOUTH

S3°05'32"W 351.00

LOT

PROPOSED PUBLIC ALLEY EASEMENT AREA  
(HATCHED AREA)

14.00

EXISTING 20 FOOT WIDE  
ALLEY EASEMENT PER DOC.  
NO. 3878185

N87°39'28"W

B L O C K

71.00

N3°05'50"E 121.00

N3°05'50"E 121.00

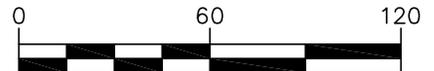
N87°39'28"W 130.00

V I L L A G E

N87°39'28"W 129.35

**SITE MAP**

PUBLIC ALLEY EASEMENT AREAS  
(PROPOSED AND EXISTING ALLEY EASEMENT AREAS)



SCALE IN FEET

Bearings based on NAD 83,  
Hennepin County, MN grid system



1229 Tyler Street NE, Suite 100  
Minneapolis, Minnesota 55413  
PHONE: (612) 466-3300  
FAX: (612) 466-3383  
WWW.EFNSURVEY.COM

Egan, Field & Nowak, Inc.  
land surveyors since 1872

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PUBLIC ALLEY EASEMENT AREAS  
Hopkins Village Apartments  
9 7th Avenue South, Hopkins  
Hennepin County, Minnesota

**TRELLIS COMPANY**

SHEET 1 OF 1

2736/45



**BACKGROUND**

The subject property is owned by the Minneapolis Park and Recreation Board (MPRB) and has been used for a municipal golf course since 1925. City records indicate the MPRB first received a conditional use permit to authorize the golf course use and allow snowmobiling in 1970. The MPRB amended this conditional use permit and received a side yard setback variance to allow construction of a golf cart storage building in 1982.

According to MPRB, during the winter of 2015-2016 the previous clubhouse at Meadowbrook Golf Course suffered significant damage when a water pipe ruptured. Because the clubhouse was in winter mode, the break was not discovered for several days. By then, the water damage was significant: the main and lower level walls, flooring, insulation, electrical systems, and other building features were damaged beyond repair. Insurance adjusters and MPRB's staff agreed the water damage rendered the building unusable and largely not repairable. As a result, the original clubhouse building was demolished and the location was filled, leveled, and sodded, and intended to remain a lawn area until construction of the new clubhouse.

In July of 2017, the City of Hopkins approved an amendment to MPRB's existing CUP to allow placement and operation of a temporary clubhouse trailer until November 1, 2019 or until a new permanent clubhouse was constructed, whichever came first. In April of 2020, the MPRB sought, and the City of Hopkins approved, a second CUP amendment extending the timeline for use of the temporary clubhouse trailer an additional two years to November 1, 2021 or construction of a new permanent clubhouse, whichever comes first.

The 2017 and 2020 CUP amendments allowed for the placement and operation of a temporary clubhouse trailer to allow continued operation of the Meadowbrook golf course in the same manner as the original clubhouse building. The current temporary clubhouse trailer is positioned just off the southeast edge of the parking area at a location that allows for reasonable operation of the course and significant separation from neighbors. The trailer serves only as a point of sale counter, small offices and restroom. A portion of the parking area was restriped for parking and a small deck was installed to provide required handicapped access. MPRB also installed seasonal plantings to provide an attractive appearance.

The temporary clubhouse trailer is connected to public and private utilities including electric and data lines and sewer and water services. Porta-potties provide required bathroom facilities. Food service and alcohol sales continued as they have in previous seasons, separate from the temporary clubhouse trailer. According to the applicant, food truck vendors have been on site daily and serve alcohol from the food truck and a beverage cart to golf patrons only.

**Current Request.** The Minneapolis Park and Recreation Board seeks an amendment to their existing conditional use permit (CUP) to replace the existing temporary clubhouse at the Meadowbrook Gold Course with a permanent, all-season clubhouse. The new facility is to contain a golf operations staff office, a service counter/retail area, a small lounge for customers, two restrooms and the associated mechanical and storage areas. Curb cuts, parking counts, trash service and overall site access will remain unchanged. A new accessible path to the clubhouse will be created as part of this project in addition to sustainable stormwater management solutions and landscape features around the building. The new facility will be approximately 1,500 square feet in size and have exterior materials that are a mix of extensive glazing, metal panel and painted Hardie Board lap siding.

**Planning & Zoning Commission Action.** The Planning & Zoning Commission reviewed this item (Planning Application 2021-04) during their April 27, 2021 meeting. During the meeting, the Commission heard a presentation from staff and held a public hearing that produced no direct comments. Prior to the public hearing, the City received two comments and the applicant conducted a neighborhood meeting. The first comment to the City came from James Warden (620 – 10th Avenue South) with concerns about the Minneapolis Parks and Recreation Board owning land within Hopkins and outside the corporate limits of Minneapolis and the general tax exempt status of this property (see attached). The second came from Patrick Bedder and focused lost opportunities to do more with the Meadowbrook Golf Course. Staff will provide an update on any other public comments received during the City Council meeting. The Planning & Zoning Commission had general discussion of the findings in the staff report and comments from the public before approving a motion recommending the City Council approve this application.

**Neighborhood Meeting.** The City’s public engagement process for this development goes above and beyond the typical statutory requirements for a public hearing and review by the Planning & Zoning Commission and approval by the City Council. It also requires the applicant to host a neighborhood meeting before the public hearing to explain the project, answer questions and take any comments. During COVID, staff asks developers to hold virtual meetings and take comments through their website. According to the applicant, they received 3 email comments and had 63 responses to their online survey. The email comments are summarized below and attached for your reference.

- Rick Christensen, no address provided (Architect with Chambers) – Not comfortable with the new modern look of the proposed permanent clubhouse.
- Monica Lee, no address provided – Questions regarding the food truck vendor and if it will be open to the public.
- Andrea Humphrey, 4604 Annaway Drive, Edina – Questions about the proposed outdoor dining area - screening, vendor, alcohol, hours of operation, any structural covering, exterior lighting.

The online survey was sent digitally to email subscribers of the Meadowbrook Golf Course as well as mailed paper notices to surrounding neighbor property owners per requirements of the City of Hopkins. 63 survey responses were collected (see attached summary). Overall findings and demographic data are provided below.

- The majority respondents were from the 55343 zip code. Responses also came from the 55416 (Edina & St. Louis Park) and 55345 (Minnetonka) zip codes.
- The age of the respondents ranged from less than 17 years old to over 60. 43% were 60 and older, 25% were 50-59, 15% were 40-49, 15% were 30-39, 2% were 21-29.
- 92% of respondents own their own home, 7% rent, and 1% said they lived with their parent.
- 80% of respondents identify as male and 15% female.
- 90% of respondents were white, 2% Asian, and 2% of mixed race.

According to the applicant, generally the project is supported. MPRB staff have found no negative responses that cause concern for the project. Those that wished changes to the project were either out of scope (i.e. expand practice areas or install a driving range) or wished the project was larger. Those wishing it were a larger project hoped for indoor dining options, event

space, or year-round use of the building.

**Legal Authority.** Conditional use permit applications are considered quasi-judicial actions. In such cases, the City is acting as a judge to determine if the regulations and requirements within the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance can be met under the proposed use. Generally, if the proposed use can meet all of these requirements, the conditional use permit should be approved.

### **CONDITIONAL USE PERMIT**

In evaluating this conditional use permit application, the City shall consider and require compliance with the specific conditions for outdoor recreation areas outlined in Section 102-163(a)(2) and the general conditional use standards detailed in Section 102-94(o). It should also be noted that Section 102-94(m) states the City may require a development agreement as condition of approval. A development agreement was required for the last amendment. The City Attorney is evaluating if the current CUP amendment request should also require a development agreement.

A conditional use permit expires one year after it has been issued unless the use for which the permit has been granted is in effect. The City Council may grant extensions not to exceed one year. Once established, if a use granted by conditional use permit ceases to operate for six months, the conditional use granted for that property will expire. The Council may impose conditions and require guarantees in the granting of conditional use permits. Any use permitted under the terms of any conditional use permit shall be established and conducted in conformity to the terms of such permit.

**Chapter 102, Article V, Section 102-163(a)(2).** Specific standards for outdoor recreation areas in a residential district.

b) Outdoor recreation areas not designed and owned as a part of a single family home or two family structure, or not owned or operated by the city, provided that:

1. All accessory or ancillary structures used in connection therewith are located not less than 50 feet from all lot lines;

Findings: The proposed location of the permanent clubhouse building exceeds the 50' setback requirement. According to MPRB's site plan, the permanent clubhouse building will be located approximately 380' from the western property line along Meadowbrook Road and 170' from the southern property line that borders Edina.

2. Golf courses shall not include driving ranges and shall have an average of 130 yards or more per hole;

Findings: According to MPRB, there is no driving range and the course's hole length averages over 130 yards. The course is 6,500 yards long, which averages 361 yards per hole from the far tees, 274 from the forward tees.

3. Country clubs shall include a golf course;

Findings: The subject property does not include a country club.

4. Outdoor game court and swimming pools abutting upon or in any R district shall be fenced and screened by plantings or other suitable screening material, and shall not be lighted between the hours of 11 P.M. and 6 A.M. of the following day. The term game court and pool shall be construed to include all areas bounded by the fencing in connection therewith;

Findings: The subject property does not include game courts or swimming pools.

5. All recreation facilities not a part of a PUD shall require a cost report to show the number of families necessary to support such facility.

Findings: The subject property is not part of a planned unit development (PUD).

**Chapter 102, Article III, Section 102-94.O.** Staff analysis of the general conditional use permit review criteria is provided below.

- 1) Consistency with the elements and objectives of the City's development plan, including the comprehensive plan and any other relevant plans at the time of the request.

Finding: The existing outdoor recreation use (golf course) is consistent with the comprehensive plan. The Future Land Use Map in the 2040 Comprehensive Plan guides the subject property as Suburban Neighborhood. Properties in this land use category include low density single family dwellings and golf courses. Neighborhoods in this category are designed around a modified grid street network with good access to the surrounding transportation network. Properties in this district are relatively large for Hopkins, with most having ample private yards and attached garages.

The comprehensive plan calls for future development in this category to include low density single family neighborhoods and accessory uses such as parks and neighborhood scaled public and institutional uses. Existing densities typically range from 2-4 units per acre. Future infill should be closer to 4 units per acre.

- 2) Consistency with this article.

Finding: The property is zoned R-1-C, which allows outdoor recreation through a conditional use permit. The proposed permanent clubhouse is permitted in the R-1-C district as part of the overall golf course use. The size and placement of the permanent clubhouse is consistent with the lot and building standards for R-1-C district and the conditional use standards for outdoor recreation uses.

<b>Lot &amp; Building Standards for the R-1-C Single Family Medium Density District</b>		
<b>Standard</b>	<b>Requirement</b>	<b>Existing</b>
Lot Area	20,000 square feet	2,790,855 square feet (64 acres)
Lot Width	80 feet	1,285 feet
Front Setback (west)	50 foot*	380 feet
Rear Setback (eastern board with SLP)	50 feet*	1,000 feet
Side Setback (southern boarder with Edina)	50 feet*	170 feet
Principal Building Height	35 feet (maximum)	25 feet

*\*See conditional use permit standards Section 102-163(a)(2)*

- 3) Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development.

Finding: Staff finds the proposed permanent clubhouse building will not significantly alter the existing relationship of buildings and open space with natural site features or their visual relationship to the development.

- 4) Creation of a functional and harmonious design for structures and site features, with special attention to the following:

- a. An internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community.

Finding: Staff finds the proposed permanent clubhouse building will not impact the internal sense of order for the buildings and uses on the site and should provide a desirable environment for occupants, visitors and the general community.

- b. The amount and location of open space and landscaping.

Finding: The proposed permanent clubhouse building will not significantly impact the amount and location of open space.

- c. Materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses.

Finding: Given the proposed interior location of the proposed permanent clubhouse building, staff finds the proposed exterior materials compatible with the surrounding golf course property setting. According to the applicant's plans (see attached), the proposed permanent clubhouse building will have a standing seam metal roof. Its exterior materials are proposed to be a combination of glass and standing seam metal, Hardi board and tongue and groove wood deck siding.

- d. Vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangements and amount of parking.

Finding: The site will have adequate vehicle and pedestrian circulation. The new permanent clubhouse will be positioned and operated similarly to the former clubhouse. According to the applicant, curb cuts, parking counts, trash service and overall site access will remain unchanged. A new accessible path to the clubhouse will be created as part of this project in addition to sustainable stormwater management solutions and landscape features around the building. The existing parking area and pedestrian trails provide adequate access to this location.

- 5) Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading.

Finding: MPRB's application does not include energy conservation information. Staff recommends a condition of approve require the applicant provide energy conservation information prior to action by the City Council.

- 6) Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Finding: The applicant's narrative indicates they intend to create sustainable stormwater management solutions and landscape features around the proposed permanent clubhouse building. They have also submitted a hydrology report. Staff recommends a condition of approval require the applicant to receive approval from the Minnehaha Creek Watershed district prior to issuance of a building permit.

The applicant indicates that the new permanent clubhouse building will include exterior lighting. However, the applicant's plans do not include lighting, photometric or detailed light fixture specifications. Staff recommends a condition of approval require the applicant to submit and receive approval of this information prior to issuance of a building permit.

- 7) The use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor tend to or actually diminish and impair property values within the neighborhood.

Finding: The proposed permanent clubhouse building should not be injurious to the use and enjoyment of other property in the immediate vicinity or diminish and impair property values within the neighborhood.

- 8) In Institutional zoning districts, the Conditional Use Permit application shall comply with the standards, conditions and requirements stated in Section 102-307 of this Ordinance.

Finding: Section 102-307 provides standards related to a conditional use that includes demolition or removal of dwelling units and does not apply to this application.

- 9) Traffic impacts such as increases in vehicular traffic, changes in traffic movements, traffic congestion, interference with other transportation systems or pedestrian traffic, and traffic hazards shall be considered by the Planning & Zoning Commission and City Council in evaluating an application for a Conditional Use Permit.

Finding: The permanent clubhouse building will be positioned and operated similarly to the former clubhouse. The existing parking area and pedestrian trails provide adequate vehicle and pedestrian access to and from the site.

### **ALTERNATIVES**

1. **Vote to Approve.** By voting to approve the conditional use permit amendment, the applicant will be approved to construct a new permanent golf clubhouse building.
2. **Voting to Deny.** By voting to deny the conditional use permit amendment, the applicant will not be approved to construct a new permanent golf course clubhouse building. Should the City Council consider this option, it must also identify specific findings that support this alternative.
3. **Continue for further information.** If the City Council finds that further information is needed, the items should be continued.

# 201 Meadowbrook Road Meadowbrook Golf Course Site Plan



**CITY OF HOPKINS**  
**Hennepin County, Minnesota**

**RESOLUTION 2021-022**

**A RESOLUTION APPROVING AN AMENDMENT TO THE EXISTING CONDITIONAL USE PERMIT FOR MEADOWBROOK GOLF COURSE ALLOWING CONSTRUCTION OF A NEW PERMANENT CLUBHOUSE BUILDING**

**WHEREAS**, the applicant, the Minneapolis Parks and Recreation Board (the “Applicant”), initiated an application to amend its existing conditional use permit (CUP) for Meadowbrook Golf Course to allow the construction of a new permanent clubhouse building at 201 Meadowbrook Road;

**WHEREAS**, the property is legally described as follows:

THAT PART OF MEADOWBROOK GOLF COURSE EMBRACED WITHIN THAT PART OF E 1/2 OF SW1/4 OF SEC 20 T 117 R 21 LYING SLY OF CENTER LINE OF EXCELSIOR ROAD SUBJECT TO ROAD

**WHEREAS**, the procedural history of the application is as follows:

1. That the property has an existing conditional use permit issued in 1970 and amended in 1982;
2. That the City of Hopkins approved Resolution 2017-052 approving an amendment to the original conditional use permit allowing the placement and operation of a temporary clubhouse trailer on July 11, 2017.
3. That the City of Hopkins approved Resolution 2020-017 approving an amendment to the original conditional use permit allowing the continue placement and operation of a temporary clubhouse trailer on April 21, 2020.
4. That another application to amend the existing conditional use permit to allow construction of a new permanent clubhouse building was initiated by the Applicant on March 23, 2021;
5. That the City of Hopkins Planning & Zoning Commission, pursuant to published and mailed notice, held a public hearing and reviewed such application on April 27, 2021: all persons present were given an opportunity to be heard;
6. That the written comments and analysis of City staff were considered; and,
7. That the Planning & Zoning Commission of the City of Hopkins approved a resolution recommending the City Council approve an amendment to the existing conditional use permit for Meadowbrook Golf Course allowing construction of a permanent clubhouse building at 201 Meadowbrook Road, subject to the conditions.

**WHEREAS**, staff recommended approval of the conditional use permit amendment based on the findings outlined in staff report dated May 4, 2021.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Hopkins hereby approves an amendment to the existing conditional use permit for Meadowbrook Golf Course allowing construction of a permanent clubhouse building at 201 Meadowbrook Road, subject to the conditions listed below.

1. The Applicant shall obtain any required building permits for the clubhouse and conform with all conditions.
2. The Applicant shall conform with the building and fire codes.
3. The Applicant shall conform with all conditional use permit standards in Chapter 102,

Article III, Section 102-94.O, and the specific conditions for outdoor recreation areas outlined in Chapter 102, Article V, Section 102-163(a)(2)

4. The temporary clubhouse shall be removed by November 1, 2021, or upon issuance of a certificate of occupancy for the new permanent clubhouse, whichever comes first.
5. The permanent clubhouse shall be connected to City sewer and water utilities.
6. The Applicant shall submit and receive approval of lighting, photometric or detailed light fixture specifications prior to issuance of a building permit.
7. The Applicant shall provide energy conservation information prior to issuance of a building permit.
8. The Applicant shall comply with all applicable liquor licensing requirements.
9. The Applicant shall comply with all applicable requirements for the operation of a food truck.
10. The Applicant shall pay the City all applicable fees associated with its application, including legal fees.
11. Approval of the development by the Minnehaha Creek Watershed District and conformance with all related conditions.
12. This conditional use permit expires one year after it has been issued unless the use for which the permit has been granted is in effect.
13. Once established, if a use granted by conditional use permit ceases to operate for six months, the conditional use granted for that property will expire.

Adopted by the City Council of the City of Hopkins this 4<sup>th</sup> day of May, 2021.

By: \_\_\_\_\_  
Jason Gadd, Mayor

ATTEST:

\_\_\_\_\_  
Amy Domeier, City Clerk

**Project:**

Meadowbrook Clubhouse  
201 Meadowbrook Road  
Hopkions, MN 55343

PID: 2011721340001

**Owner:**

Minneapolis Park and Recreation Board (MPRB)  
2117 West River Road  
Minneapolis, MN 55411

**Owner Contact:**

Tyler Pederson  
612-230-6418  
[tpederson@minneapolisparcs.org](mailto:tpederson@minneapolisparcs.org)

**Applicant:**

Hagen, Christensen & McIlwain Architects (HCM Architects)  
4201 Cedar Ave. S.  
Minneapolis, MN 55407  
612-904-1332

**Applicant Contact:**

Matt Lysne  
612-904-1332  
[Lysne@hcmarchitects.com](mailto:Lysne@hcmarchitects.com)

**Project Narrative:**

As stated in Resolution No. 2017-0138 and the revised Conditional Use Permit referenced therein, the Owner (Minneapolis Park and Recreation Board) is seeking to replace the existing temporary clubhouse with a permanent, all-season clubhouse. The new facility is to contain a golf operations staff office, a service counter/retail area, a small lounge for customers, two restrooms and the associated mechanical and storage areas. Curb cuts, parking counts, trash service and overall site access will remain unchanged. A new accessible path to the clubhouse will be created as part of this project in addition to sustainable stormwater management solutions and landscape features around the building. At 1,500 square feet, the modest facility is clad in a mix of extensive glazing, metal panel and painted Hardie Board lap siding. The scale of the building will allow it to blend into the tree canopy to the West and provide open views to the Northeast looking out over the golf course. The combination of high quality, durable materials and a simple, timeless form will last long into the future without sacrificing flexibility for golfers and the MPRB should demand fluctuate in the future.

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
A	
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT / ARCHITECTURAL
AVG	AVERAGE
B	
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BRG	BEARING
C	
C/C	CENTER TO CENTER
CAB	CABINET
CFMF	COLD FORMED METAL FRAMING
CG	CORNER GUARD
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
CUH	CABINET UNIT HEATER

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
D	
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DWG	DRAWING
E	
EIFS	EXTERIOR INSULATION & FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXT	EXTERIOR
F	
FT	FIRE TREATED
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FIX	FIXTURE
FLR	FLOOR
FT	FEET
G	
GALV	GALVANIZED
GYP	GYP SUM

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
H	
HB	HOSE BIBB
HD	HAND DRYER
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
I	
INSUL	INSULATION
INT	INTERIOR
J	
JAN	JANITOR
L	
LAV	LAVATORY
LF	LINEAR FEET
LVL	LEVEL
M	
M.O.	MASONRY OPENING
MAINT	MAINTENANCE
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MTL	METAL
N	
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
O	
OC	ON CENTER
OPNG	OPENING
P	
PART	PARTITION
PERP	PERPENDICULAR
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLYWD	PLYWOOD
PREFIN	PREFINISHED
PROJ	PROJECTION / PROJECTOR
Q	
QT	QUARRY TILE
R	
RB	RESILIENT BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REC	RECOMMENDATION / RECORD
REF	REFERENCE
REINF	REINFORCED
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
S	
SCH	SCHEDULE
SIM	SIMILAR

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
SPEC	SPECIFICATIONS
ST STL	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
T	
TOPO	TOPOGRAPHY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TWF	THRU WALL FLASHING
TYP	TYPICAL
U	
UG	UNDERGROUND
UH	UNIT HEATER
V	
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VFY	VERIFY
VIF	VERIFY IN FIELD
VWC	VINYL WALL COVERING
W	
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WDW	WINDOW
Y	
YD	YARD

### GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS ETC. AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR CONSTRUCTION AND PAY ALL INSPECTION FEES FOR ALL PORTIONS OF THE WORK
- CONTRACTOR SHALL VISIT THE SITE (INCLUDING MECHANICAL & ELECTRICAL SUB-CONTRACTORS) TO VERIFY ALL EXISTING CONDITIONS AND TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO COMPLETE THE DESIGN SHOWN ON THE PLANS.
- ALL CONTRACTORS SHALL MEET OR EXCEED ALL STATE OF MINNESOTA AND CITY OF MINNEAPOLIS CODES AND STANDARDS. EXISTING CODE REQUIREMENTS SHALL TAKE PRECEDENCE OVER WHAT IS SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION FOR WORKERS & ALL EMPLOYEES WHEN PAINTING OR USING ADHESIVES OR TOXIC CHEMICALS. PAINTING MAY HAVE TO BE DONE ON WEEKENDS IN OCCUPIED AREAS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL SURFACES DAMAGED DUE TO CONSTRUCTION.

### CONTRACTOR REQUIREMENTS

THIS WORK FOR THIS PROJECT INCLUDES ALL WORK NECESSARY TO COMPLETE THE GENERAL CONSTRUCTION.

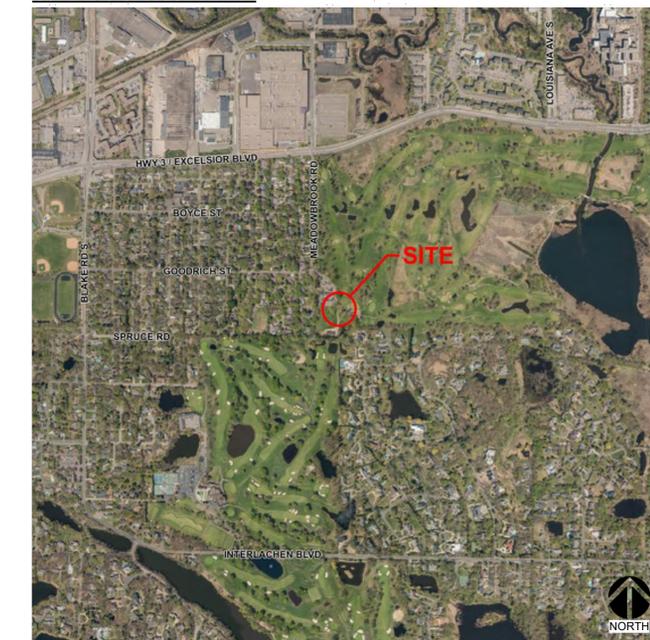
UNDER THIS CONTRACT THE CONTRACTOR SHALL:

- COORDINATE USE OF PREMISES WITH THE OWNER.
- CONTRACTOR'S WORK SHALL CONFORM TO THE OWNER'S WORK RULES AND SPECIFICATIONS.
- REPAIR OR REPLACE SITE DAMAGE TO CONDITIONS WHICH EXISTED PREVIOUS TO STARTING WORK.
- PLAN WORK SEQUENCE WITH OWNER AND ARCHITECT AND OBTAIN THEIR APPROVAL BEFORE STARTING WORK.
- NOTIFY OWNER AND ARCHITECT OF EXISTING SITE CONDITIONS THAT ARE IN CONFLICT WITH THE INTENT OF THESE DOCUMENTS.
- COORDINATE ALL WORK ON THE PROJECT. GENERAL CONTRACTOR SHALL PROVIDE A PROJECT SUPERINTENDENT TO MANAGE AND SUPERVISE THE WORK.
- EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THEIR WORK.
- CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF PRODUCTS UNDER THIS CONTRACT.
- IT IS THE RESPONSIBILITY OF SUPPLIERS TO PROVIDE MANUFACTURER'S SPECS AND SHOP DRAWINGS FOR FIXTURES AND EQUIPMENT TO THE ARCHITECT FOR APPROVAL. IT IS THE RESPONSIBILITY OF THE RELATED SUB-CONTRACTORS FOR FIELD VERIFICATION AND REVIEW OF SHOP DRAWINGS PRIOR TO FABRICATION APPROVAL OR FIELD CONSTRUCTION OF ANY RELATED WORK.
- PROVIDE A WASTE CONTAINER AND PAY FOR REMOVAL SERVICE OF ALL REFUSE AND WASTE MATERIALS GENERATED BY ALL PRIME CONTRACTORS AND SUB-CONTRACTORS. EACH SUB-CONTRACTOR WILL BE RESPONSIBLE FOR CLEAN-UP AND REMOVAL OF THEIR OWN WASTE MATERIALS FROM THE SITE. LEAVE THE SPACE VACUUM AND BROOM CLEAN. CLEAN ALL GLASS AND MIRRORS.
- RECEIVE AND VERIFY ALL OWNER SUPPLIED MATERIALS AND EQUIPMENT. ALL SHORTAGES AND DAMAGES SHALL BE DOCUMENTED ON RECEIVING TICKETS AND REPORTED TO OWNER AND ARCHITECT IMMEDIATELY UPON RECEIPT.
- FINAL CLEANING SHALL BE DONE BY A PROFESSIONAL CLEANING SERVICE OR EQUAL. PROVIDE OWNER WITH LABOR AND MATERIAL WARRANTIES AND SERVICE CONTRACTS FROM ALL SUB-CONTRACTORS AND EQUIPMENT AND MATERIAL MANUFACTURERS. THESE WARRANTIES SHALL BE IN EFFECT FOR A PERIOD OF ONE (1) YEAR FROM INSTALLATION DATE.

### ALTERNATES:

- OMIT PERGOLA FROM SCOPE OF WORK  
A. SHOWN AS KEYNOTE 8 ON ARCHITECTURAL SITE PLAN
- OMIT ADDITIONAL CAST-IN-PLACE PATH & STAIR FROM SCOPE OF WORK  
A. SHOWN AS KEYNOTE 10 ON ARCHITECTURAL SITE PLAN
- PROVIDE ALTERNATE PRICING TO REPLACE CEMENTITIOUS SIDING PRODUCT WITH ACRE DIMENSION LUMBER SIDING FROM MODERN MILL  
A. ASSUME 4" TONGUE & GROOVE HORIZONTAL LAP SIDING APPLICATION

### SITE LOCATION MAP

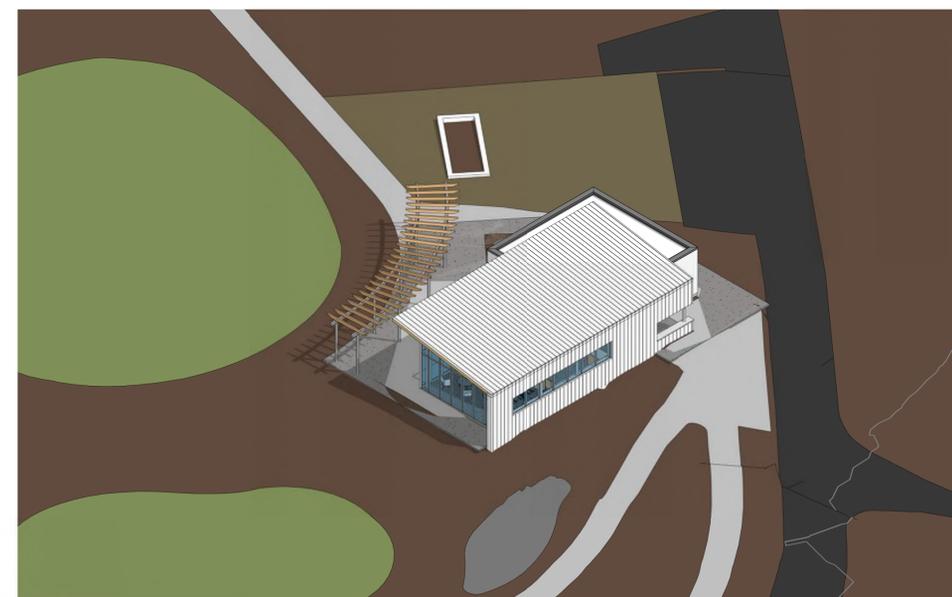


### MATERIALS LEGEND

	EARTH		MASONRY
	GRAVEL/COMPACTED FILL		TILE
	CONCRETE		MARBLE / SOLID SURFACE
	STEEL		GLASS
	ALUMINUM		FINISH MILLWORK
	CMU		WOOD BLOCKING
	BATT/LOOSE INSULATION		GYP SUM WALL BOARD
	RIGID INSULATION		PLYWOOD
	SPRAY FOAM INSULATION		PARTICLE BOARD
	MORTAR/GROUT		STONE

### ANNOTATION LEGEND

	EXTERIOR WALL TAG		ELEVATION MARKER
	INTERIOR PARTITION TAG		REVISION TAG
	DOOR TAG		INTERIOR ELEVATION KEYNOTE
	EXTERIOR ELEVATION KEYNOTE		FLOOR PLAN KEYNOTE
	CEILING PLAN KEYNOTE		DEMO KEYNOTE
	EXTERIOR ELEVATION MARKER		INTERIOR ELEVATION MARKER
	BUILDING SECTION		WALL SECTION
	DETAIL SECTION		CALLOUT
	Room name		Room name
	101		150 SF



2 OVERALL AXON

SHEET INDEX - ARCHITECTURAL		
SHEET NUMBER	SHEET NAME	
a0.0	COVER SHEET	
a1.0	SURVEY W/ NOTES	
a2.1	OVERALL FLOOR PLAN	
a3.1	EXTERIOR ELEVATIONS	
a3.2	MATERIALS SAMPLES & EXAMPLES	
a10.1	EXTERIOR RENDERINGS	
a10.2	EXTERIOR RENDERINGS	

**HAGEN, CHRISTENSEN & MCILWAIN**  
ARCHITECTS  
4201 EDGAR AVENUE, SUITE 100, MINNEAPOLIS, MN 55407  
TEL: (612) 924-1332 FAX: (612) 924-7366

CIVIL  
**LOUCKS**

STRUCTURAL  
**BKBM**  
ENGINEERS

MEP  
**emanuelson-podas**  
consulting engineers

I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.  
Title: XXXX  
By: \_\_\_\_\_ Date: XXXX  
Registration Number: XXXX

CLIENT / LANDSCAPE  
**Minneapolis**  
Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY

PROJECT  
**MEADOWBROOK**  
MINNEAPOLIS  
201 Meadowbrook Rd.  
Hopkins, MN 55343  
**MEADOWBROOK**  
CLUBHOUSE

DRAWING TITLE  
**COVER SHEET**

DRAWING NUMBER  
**a0.0**

NOTE:  
EXISTING CONDITIONS INFORMATION SHOWN  
FROM EGAN, FIELD AND NOWAK, INC.



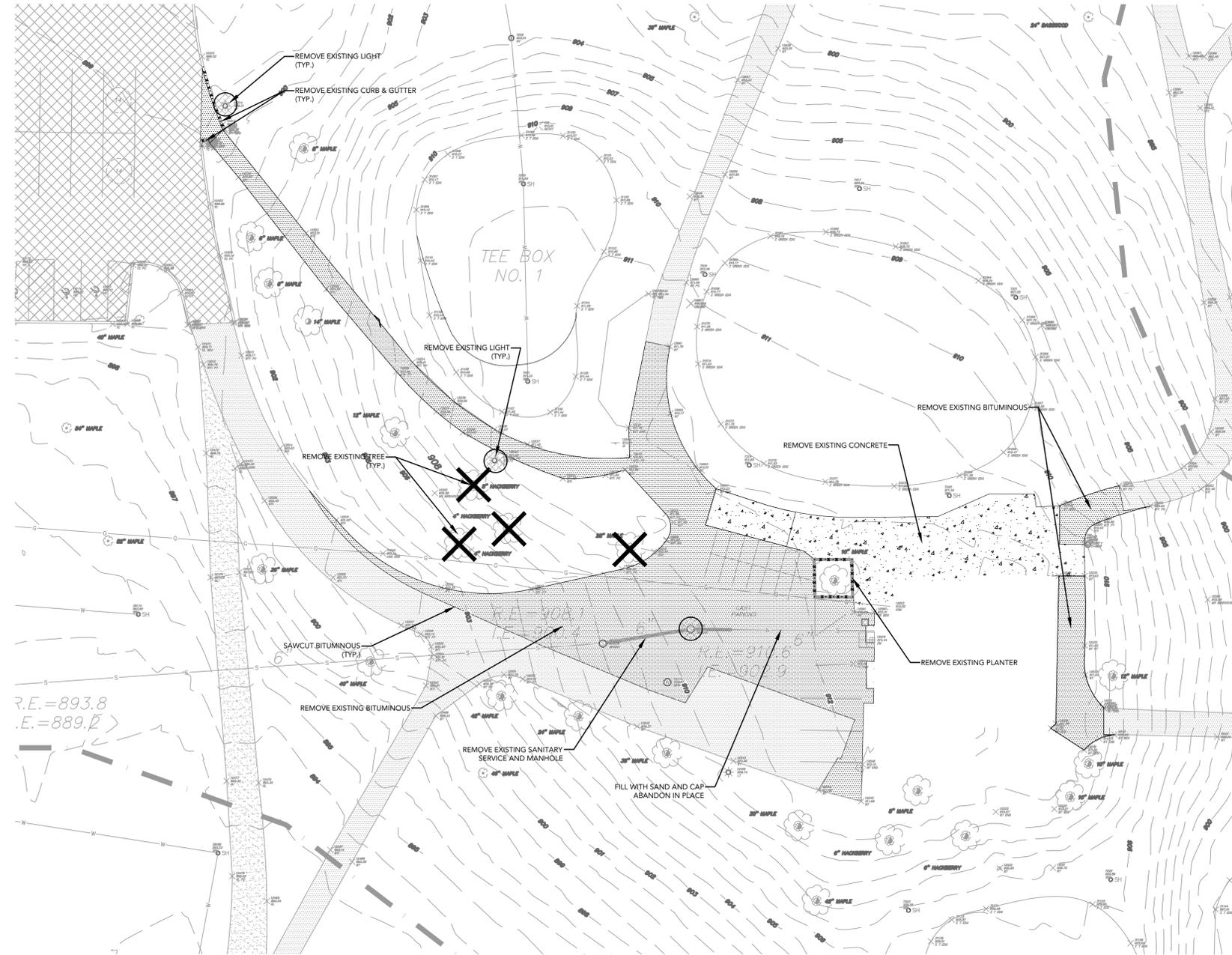
0 20 40  
SCALE IN FEET

**DEMOLITION LEGEND:**

-  REMOVE EXISTING BITUMINOUS PAVING
-  REMOVE EXISTING CONCRETE PAVING
-  REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.
-  REMOVE EXISTING UTILITIES
-  REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.
-  REMOVE EXISTING TREES

**DEMOLITION NOTES**

1. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
2. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
3. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. TOPSOIL SHALL BE STOCKPILED ON-SITE AND ALL OTHER REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
4. CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
5. REFER TO TREE INVENTORY AND TREE REPLACEMENT PLAN FOR REMOVAL AND REPLACEMENT OF ON SITE TREES.



CALL BEFORE YOU DIG!  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**HAGEN, CHRISTENSEN & MCILWAIN**  
ARCHITECTS  
221 BEAUM AVENUE SE • MINNEAPOLIS, MN 55407  
TEL: (612) 654-1322 • FAX: (612) 654-7356

CIVIL  
**LOUCKS**

STRUCTURAL  
**BKBM**  
ENGINEERS

MEP  
**ep** emanuelson-podas  
consulting engineers

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
J. Van Dell - PE  
License No. 41352 Date 10/06/2020  
Loucks Project No. 20561.00

CLIENT / LANDSCAPE  
  
**Minneapolis**  
Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY
	03/25/21	CITY SUBMITTAL	

PROJECT  
  
**MEADOWBROOK**  
MINNEAPOLIS  
201 Meadowbrook Rd.  
Hopkins, MN 55343  
**MEADOWBROOK**  
CLUBHOUSE

DRAWING TITLE  
**EXISTING CONDITIONS & DEMO**

DRAWING NUMBER  
**C1-1**

NOTE:  
EXISTING CONDITIONS INFORMATION SHOWN  
FROM EGAN, FIELD AND NOWAK, INC.

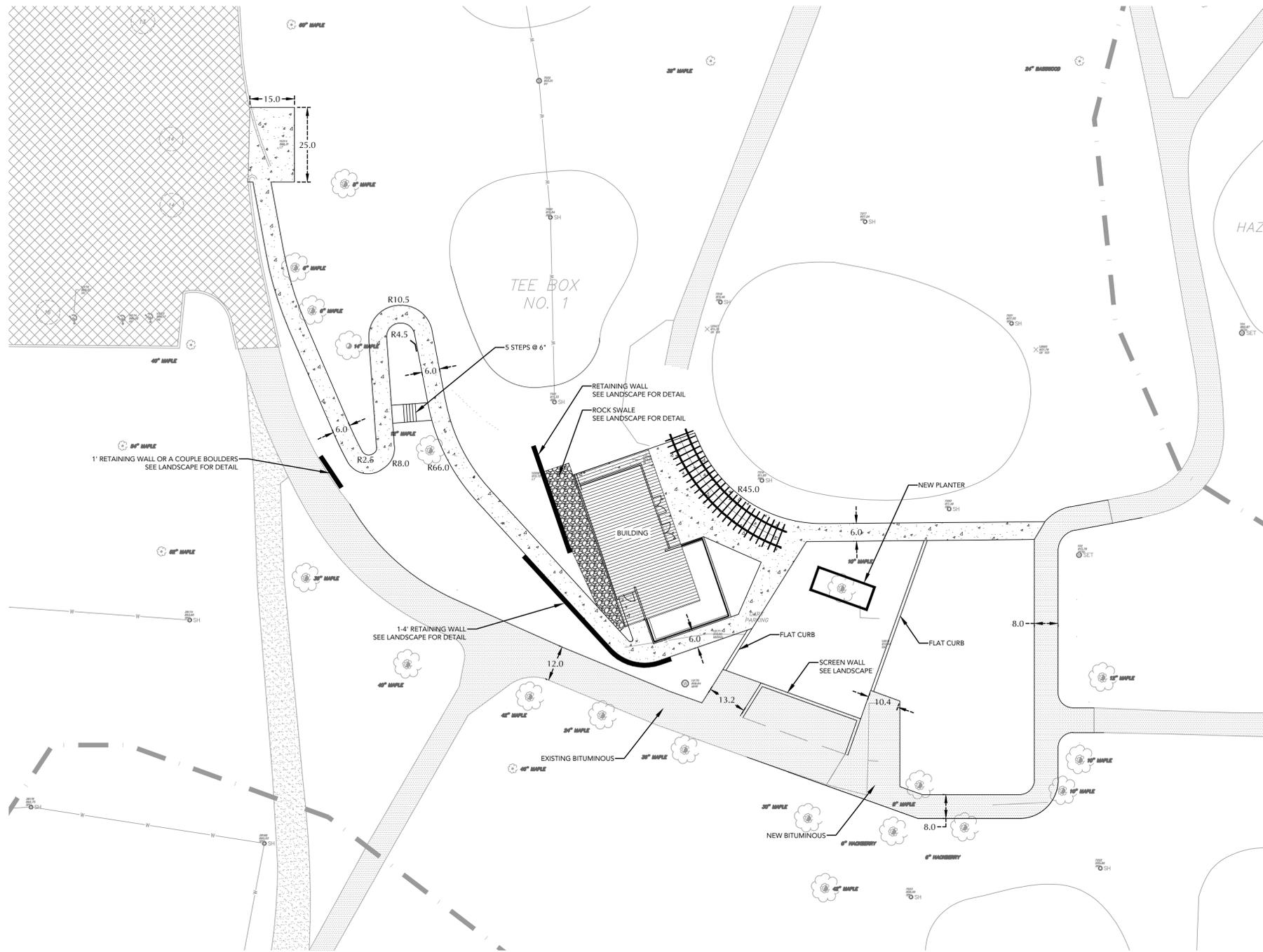


**SITE NOTES**

1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
5. TYPICAL FULL SIZED PARKING STALL IS 9' X 18' UNLESS OTHERWISE NOTED.
6. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.

**CIVIL LEGEND**

	PROPOSED
CATCH BASIN	●
STORM MANHOLE	⊙
FLARED END SECTION	⊙
SANITARY MANHOLE	⊙
HYDRANT	⊙
GATE VALVE	⊙
POST INDICATOR VALVE	⊙
WATER MANHOLE / WELL	⊙
LIGHT POLE	⊙
POWER POLE	⊙
ELECTRIC METER	⊙
GAS METER	⊙
TELEPHONE PEDESTAL	⊙
SIGN	⊙
BENCHMARK	⊙
SOIL BORING	⊙
PARKING STALL COUNT	②
ACCESSIBLE PARKING STALL	♿
STORM SEWER	—
DRAINTILE	—
SANITARY SEWER	—
FORCEMAIN	—
WATERMAIN	—
SANITARY SEWER SERVICE	—
WATER SERVICE	—
UNDERGROUND ELECTRIC	—
UNDERGROUND FIBER OPTIC	—
UNDERGROUND GAS	—
UNDERGROUND TELEPHONE	—
OVERHEAD UTILITY	—
FENCE	—
CHAIN LINK FENCE	—
CONCRETE CURB	—
RETAINING WALL	—
CONCRETE	—
NO PARKING	—
BUILDING	—
CONTOUR	—
SPOT ELEVATION	—
DIRECTION OF FLOW	—
TREE LINE	—
PARKING SETBACK LINE	—
BUILDING SETBACK LINE	—



HAGEN, CHRISTENSEN & MCILWAIN  
ARCHITECTS

CIVIL  
**LOUCKS**

STRUCTURAL  
**BKBM ENGINEERS**

MEP  
**emanuelson-podas consulting engineers**

I hereby certify that this plan, specification or report prepared by me or under my direct supervision and seal as a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
J. Van Dell - PE  
License No. 41352 Date 10/06/2020  
Loucks Project No. 20561.00

CLIENT / LANDSCAPE  
**Minneapolis Park & Recreation Board**

REVISION	DATE	DESCRIPTION	BY
	03/25/21	CITY SUBMITTAL	

PROJECT  
**MEADOWBROOK MINNEAPOLIS**  
201 Meadowbrook Rd.  
Hopkins, MN 55343  
**MEADOWBROOK CLUBHOUSE**

DRAWING TITLE  
**SITE PLAN**

DRAWING NUMBER  
**C2-1**

**CALL BEFORE YOU DIG!**  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**WARNING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



NOTE:  
EXISTING CONDITIONS INFORMATION SHOWN  
FROM EGAN, FIELD AND NOWAK, INC.



**CIVIL LEGEND**

- |                          |          |
|--------------------------|----------|
| CATCH BASIN              | PROPOSED |
| STORM MANHOLE            |          |
| FLARED END SECTION       |          |
| SANITARY MANHOLE         |          |
| HYDRANT                  |          |
| GATE VALVE               |          |
| POST INDICATOR VALVE     |          |
| WATER MANHOLE / WELL     |          |
| LIGHT POLE               |          |
| POWER POLE               |          |
| ELECTRIC METER           |          |
| GAS METER                |          |
| TELEPHONE PEDESTAL       |          |
| SIGN                     |          |
| BENCHMARK                |          |
| SOIL BORING              |          |
| PARKING STALL COUNT      |          |
| ACCESSIBLE PARKING STALL |          |
| STORM SEWER              |          |
| DRAINTILE                |          |
| SANITARY SEWER           |          |
| FORCEMAIN                |          |
| WATERMAIN                |          |
| SANITARY SEWER SERVICE   |          |
| WATER SERVICE            |          |
| UNDERGROUND ELECTRIC     |          |
| UNDERGROUND FIBER OPTIC  |          |
| UNDERGROUND GAS          |          |
| UNDERGROUND TELEPHONE    |          |
| OVERHEAD UTILITY         |          |
| FENCE                    |          |
| CHAIN LINK FENCE         |          |
| CONCRETE CURB            |          |
| RETAINING WALL           |          |
| CONCRETE                 |          |
| NO PARKING               |          |
| BUILDING                 |          |
| CONTOUR                  |          |
| SPOT ELEVATION           |          |
| DIRECTION OF FLOW        |          |
| TREE LINE                |          |
| PARKING SETBACK LINE     |          |
| BUILDING SETBACK LINE    |          |

**GRADING, DRAINAGE & EROSION CONTROL NOTES**

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOJ. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, SANITARY SEWER, AND STORM SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- ADA ACCESSIBLE ROUTE SHALL HAVE A 5.0% MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL AND A 2.0% MAXIMUM CROSS-SLOPE.
- ACCESSIBLE STALLS, ACCESS AISLES AND 60" TURNING CIRCLES SHALL HAVE A 2.0% MAXIMUM SLOPE IN ANY DIRECTION.



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HAGEN, CHRISTENSEN & MCILWAIN  
ARCHITECTS  
221 DEAN AVENUE, SUITE 200, MINNEAPOLIS, MN 55407  
TEL: (612) 554-1322 FAX: (612) 554-7356

CIVIL  
**LOUCKS**

STRUCTURAL  
**BKBM ENGINEERS**

MEP  
**emanuelson-podas consulting engineers**

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Eric J. Van Dell - PE  
License No. 41352 Date 10/06/2020  
Loucks Project No. 20561.00

CLIENT / LANDSCAPE  
**Minneapolis Park & Recreation Board**

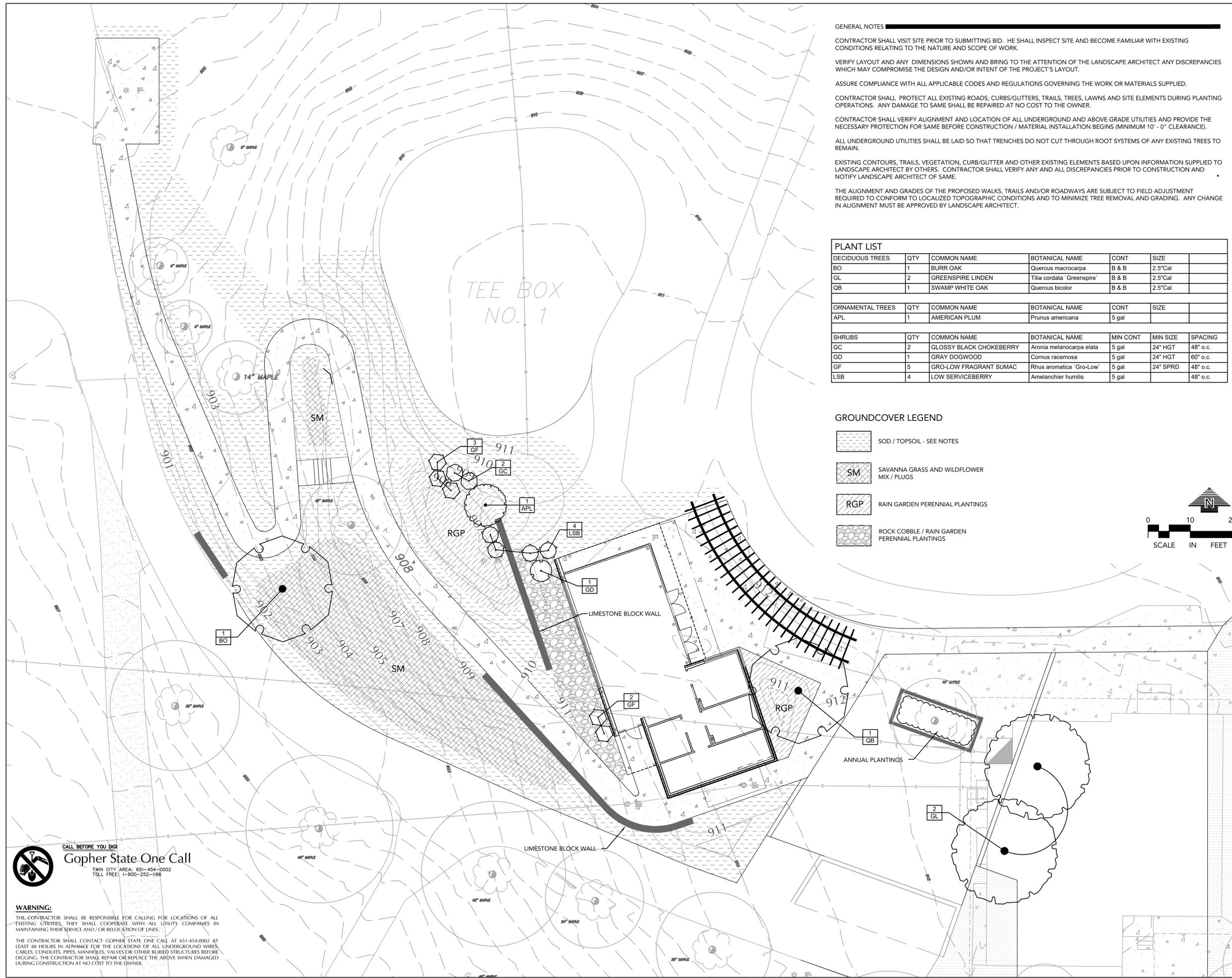
REVISION	DATE	DESCRIPTION	BY
	03/26/21	CITY SUBMITTAL	

PROJECT  
**MEADOWBROOK MINNEAPOLIS**  
201 Meadowbrook Rd.  
Hopkins, MN 55443  
**MEADOWBROOK CLUBHOUSE**

DRAWING TITLE  
**GRADING PLAN**

DRAWING NUMBER  
**C3-1**

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**GENERAL NOTES**

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

**PLANT LIST**

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
BO	1	BURR OAK	Quercus macrocarpa	B & B	2.5"Cal
GL	2	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	B & B	2.5"Cal
QB	1	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5"Cal

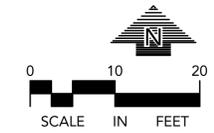
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
APL	1	AMERICAN PLUM	Prunus americana	5 gal	

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
GC	2	GLOSSY BLACK CHOKEBERRY	Aronia melanocarpa elata	5 gal	24" HGT	48" o.c.
GD	1	GRAY DOGWOOD	Cornus racemosa	5 gal	24" HGT	60" o.c.
GF	5	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal	24" SPRD	48" o.c.
LSB	4	LOW SERVICEBERRY	Amelanchier humilis	5 gal		48" o.c.

**GROUNDCOVER LEGEND**

	SOD / TOPSOIL - SEE NOTES
	SAVANNA GRASS AND WILDFLOWER MIX / PLUGS
	RAIN GARDEN PERENNIAL PLANTINGS
	ROCK COBBLE / RAIN GARDEN PERENNIAL PLANTINGS



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**BKBM ENGINEERS**

MEP  
**emanuelson-podas consulting engineers**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Landscaper under the laws of the State of Minnesota.

Gregory Johnson - PL  
 License No. 24410 Date 10/06/2020  
 Loucks Project No. 20561.00  
 Project Name VJV Review Date 03/23/21  
 Drawn By GAJ  
 Checked By VJV

CLIENT / LANDSCAPE  
**Minneapolis Park & Recreation Board**

REVISION	DATE	DESCRIPTION	BY
	03/26/21	CITY SUBMITTAL	

PROJECT  
**MEADOWBROOK MINNEAPOLIS**  
 201 Meadowbrook Rd.  
 Hopkins, MN 55343  
**MEADOWBROOK CLUBHOUSE**

DRAWING TITLE  
**LANDSCAPE PLAN**

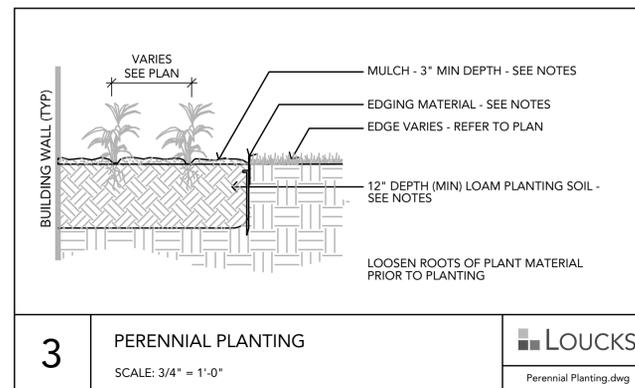
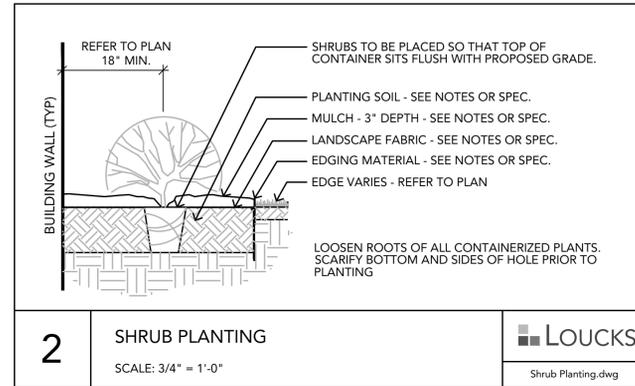
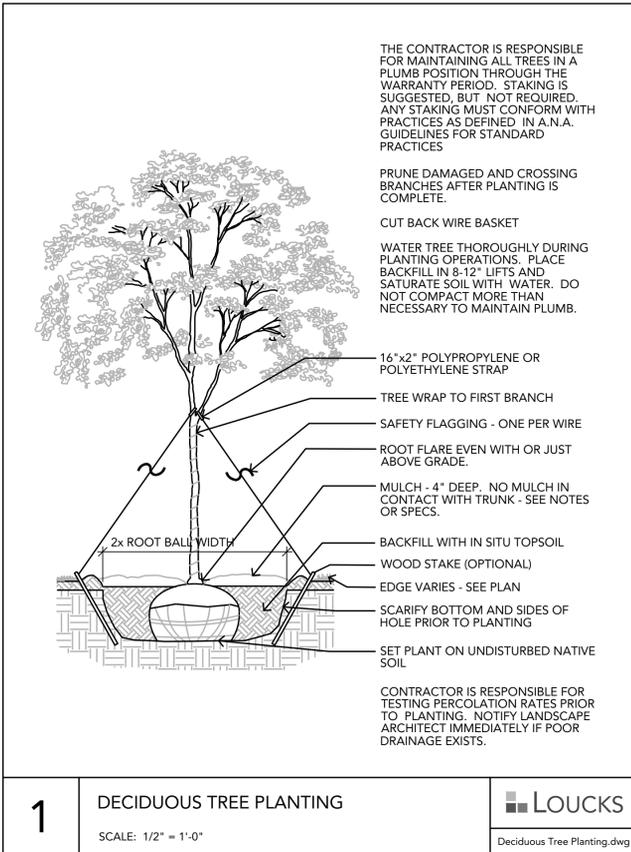
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REVISION	DATE	DESCRIPTION	BY
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LANDSCAPE INSTALLATION

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. MULCH FOR TURF SEEDING AREAS SHALL BE TYPE 5 WOOD FIBER HYDROMULCH CONFORMING WITH MNDOT 3884. MULCH FOR SEEDING AREAS WITH SLOPES 15% OR GREATER SHALL BE MNDOT CATEGORY 1, STRAW RD 1S BLANKET CONFORMING WITH MNDOT 3885.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 3 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V-CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

COMMERCIAL GRADE 5" BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

MULCH SHALL BE CLEAN SHREDDED HARDWOOD MULCH WITH UNIFORM PIECE SIZE. ALL ANNUAL AND PERENNIAL BEDS TO RECEIVE 3" OF MULCH WITH NO WEED BARRIER. ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP MULCH WITH A FIBER MAT WEED BARRIER. ALL TREES NOT IN PLANTING BEDS TO RECEIVE 4" DEEP MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

ROCK MULCH SHALL BE 1"-1-1/2" GREY TRAP ROCK, 4" DEEP OVER A FIBER MAT WEED BARRIER.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

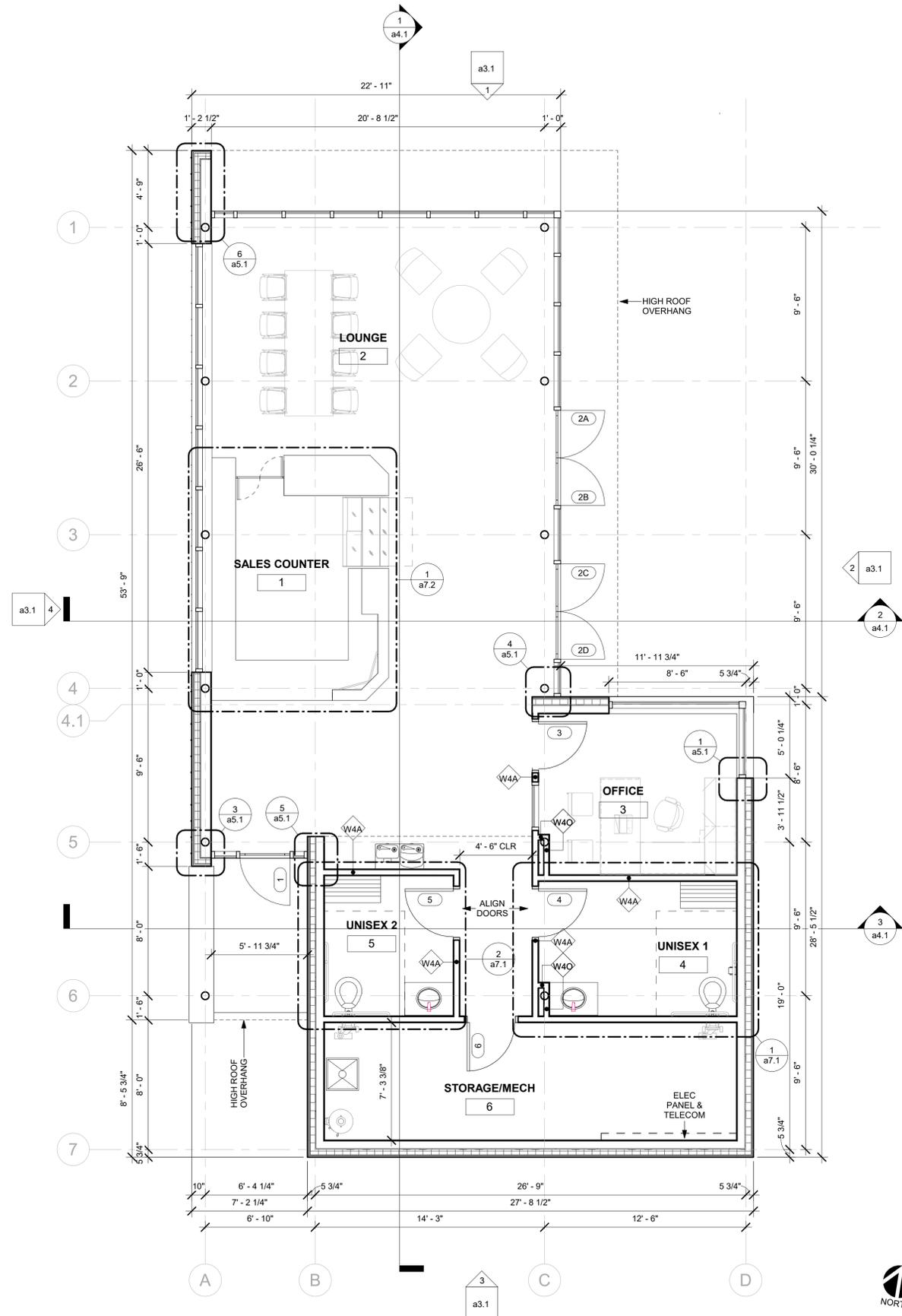
CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR. WARRANTY SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.





1 OVERALL FLOOR PLAN - LEVEL 1  
1/4" = 1'-0"

**FLOOR PLAN GENERAL NOTES**

1. CONTRACTOR TO VERIFY ALL CONDITIONS AND REPORT DISCREPANCIES TO THE ARCHITECT OR OWNER, PRIOR TO BEGINNING CONSTRUCTION.
2. REFER TO SHEET a9.1 FOR CEILING SCOPE OF WORK.
3. REFER TO SHEET 12.1 FOR FINISHES AND FFE SCOPE OF WORK.
4. ALL ROOMS TO RECEIVE ACCESSIBLE ROOM SIGNAGE PER CODE.
5. ALL ELECTRICAL OUTLETS, SWITCHES, THERMOSTATS, PRESSURE MONITORS, ETC. TO BE VERIFIED WITH OWNER ON-SITE BEFORE WALLS ARE CLOSED UP.
6. SEE CIVIL DRAWINGS FOR FIRST FLOOR ELEVATION EQUIVALENT TO 100'-0" FOR LEVEL 1 IN ARCHITECTURAL DRAWINGS.
7. ALL PENETRATIONS THROUGH NON-RATED FLOORS, WALLS AND OTHER ASSEMBLIES SHALL BE SEALED AT BOTH SIDES WITH MATERIALS APPROPRIATE TO THE ASSEMBLY CONSTRUCTION TO REDUCE SOUND TRANSMISSION.
8. ALL PENETRATIONS THROUGH FIRE-RATED FLOORS, WALLS, AND OTHER ASSEMBLIES SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UL OR OTHER APPROVED LISTINGS AND MATCH THE RATING OF THE CONSTRUCTION BEING PENETRATED.
9. PROVIDE BLOCKING AS REQUIRED TO SUPPORT ALL WALL MOUNTED ITEMS (INCLUDING, BUT NOT LIMITED TO, MAP RAILS, MARKER BOARDS, SIGNAGE, CASEWORK, MILLWORK, AND TOILET ACCESSORIES).
10. PROVIDE BLOCKING AT RAILINGS AND GUARDRAILS CAPABLE OF SUPPORTING THE POINT AND UNIFORM LOADS REQUIRED BY CODE.
11. VERIFY CLEARANCES REQUIRED FOR INSTALLATION OF ALL RECESSED OR SEMI-RECESSED EQUIPMENT AND FIXTURES (E.G. CABINETS, DISPENSERS, PANELS, ETC.) NOTIFY ARCHITECT IMMEDIATELY IF SPECIFIED WALL TYPES DO NOT PROVIDE ADEQUATE SPACE FOR PROPER INSTALLATION.
12. FLOOR PLAN DIMENSIONS ARE LOCATED FROM THE FINISHED FACE OF PARTITIONS, UNLESS NOTED OTHERWISE.
13. ALL MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
14. THE NOTATION "NO WORK" INDICATES THAT SUBSTANTIAL CONSTRUCTION ACTIVITIES ARE NOT ANTICIPATED IN THE DESIGNATED ROOM OR AREA. INCIDENTAL MODIFICATION OR CONSTRUCTION MAY BE REQUIRED TO ACCOMMODATE NEW WORK SYSTEMS AS INDICATED ON OTHER DRAWINGS.
15. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN.

**FLOOR PLAN - SYMBOL KEY**

- EXISTING PARTITIONS TO REMAIN
- NEW PARTITIONS, SEE PARTITION TYPES
- EXISTING DOOR TO REMAIN
- NEW DOOR
- DOOR NUMBER - SEE SCHEDULE ON SHEET a8.1
- NO WORK IN THIS AREA
- CARD READER
- FIRE EXTINGUISHER

**KEYNOTES - FLOOR PLANS**

Number	Description
1	ESPN

**ALTERNATES:**

1. OMIT PERGOLA FROM SCOPE OF WORK
2. SHOWN AS KEYNOTE 8 ON ARCHITECTURAL SITE PLAN
3. OMIT ADDITIONAL CAST-IN-PLACE PATH & STAIR FROM SCOPE OF WORK
4. SHOWN AS KEYNOTE 10 ON ARCHITECTURAL SITE PLAN
5. PROVIDE ALTERNATE PRICING TO REPLACE CEMENTITIOUS SIDING PRODUCT WITH ACRE DIMENSION LUMBER FROM MODERN MILL
6. ASSUME 4" TONGUE & GROOVE HORIZONTAL LAP SIDING APPLICATION

**INTERIOR PARTITION TYPE SCHEDULE**

MARK	WIDTH	FIRE RATING	DESCRIPTION
W4	4 3/4"		5/8" GYP BOARD, 3-1/2" WOOD FRAMING, 5/8" GYP BOARD
W4A	4 3/4"		5/8" GYP BOARD, 3-1/2" WOOD FRAMING WITH MINERAL WOOL INSULATION IN CAVITY, 5/8" GYP BOARD
W4O	4 1/8"		5/8" GYP BOARD, 3-1/2" WOOD FRAMING, 5/8" GYP BOARD ONE SIDE

**INTERIOR PARTITION TYPE LEGEND**

**FIRE RATING**

- 1 - 1 HR
- 2 - 2 HR
- 3 - 3 HR
- \*0 HR RATING NOT SHOWN ON TAG

**FEATURE(S)**

- A - ACOUSTICAL INSULATION IN CAVITY
- C - GYP UP TO 6" ABOVE CEILING
- D - NOT USED
- O - GYP ONE SIDE
- P - PARTIAL HEIGHT PARTITION - SEE FLOOR PLAN FOR HT
- R - GYP OVER RESILIENT CHANNEL
- \*WALL MAY HAVE MORE THAN ONE FEATURE

**CORE MATERIAL**

- S - MTL STUD
- M - CMU/ MASONRY
- C - CONCRETE
- F - FURRING
- P - PRECAST
- W - WD STUD

**STRUCTURAL NOMINAL THICKNESS**

- 0 - 7/8" FURRING
- 1 - 1 1/2" MTL STUD
- 2 - 2 1/2" MTL STUD
- 4 - 3 5/8" MTL STUD
- 3 1/2" WD STUD
- 6 - 6" MTL STUD/PRECAST
- 5 5/8" MASONRY
- 5 1/2" WD STUD
- 8 - 8" MTL STUD/PRECAST OR 7 5/8" MASONRY

**ADDITIONAL NOTES**

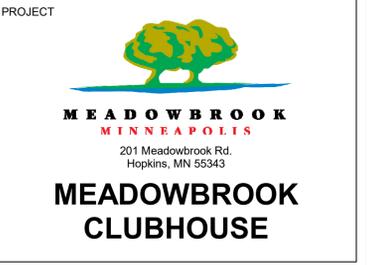
1. ALL WALLS UP TO BOTTOM OF DECK UNLESS NOTED OTHERWISE (U.N.O)
2. PROVIDE ACOUSTICAL SEALANT AT ALL TYPE A AND TYPE R WALLS
3. PROVIDE EQUAL THICKNESS CEMENT BOARD IN LIEU OF GYP AT ALL TILE LOCATIONS, SEE INTERIOR ELEVATIONS
4. COORDINATE BLOCKING LOCATIONS WITH ARCHITECT TO PREVENT ACOUSTICAL INTEGRITY FROM BEING COMPROMISED



I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.  
 Title: XXXX  
 By: \_\_\_\_\_ Date: XXXX  
 Registration Number: XXXX



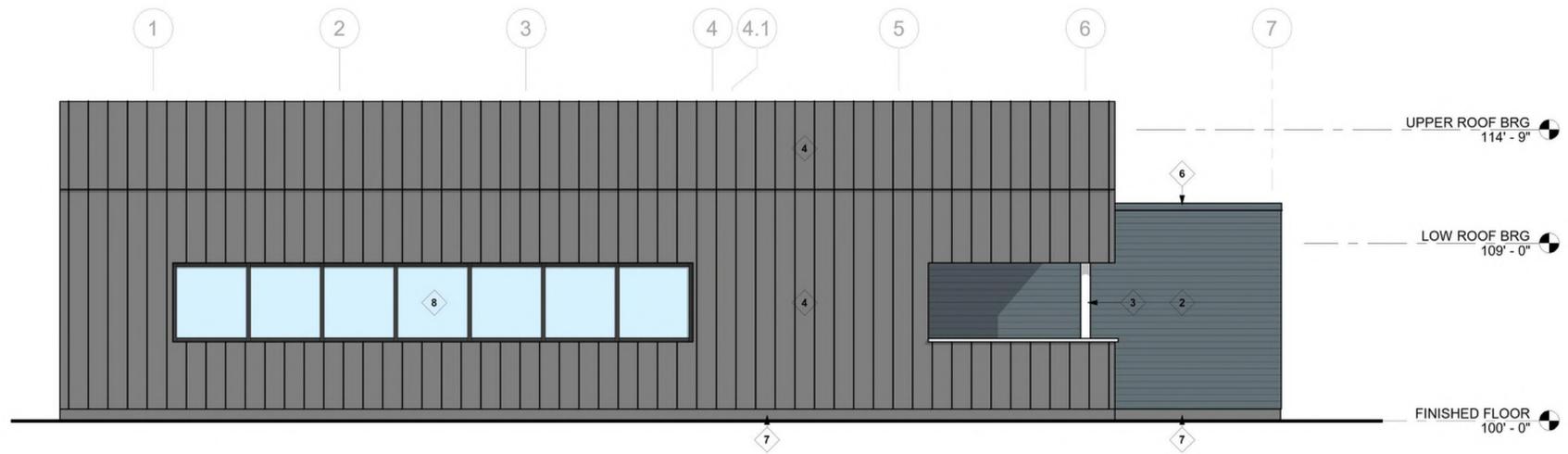
REVISION	DATE	DESCRIPTION	BY



**MEADOWBROOK CLUBHOUSE**

DRAWING TITLE  
**OVERALL FLOOR PLAN**

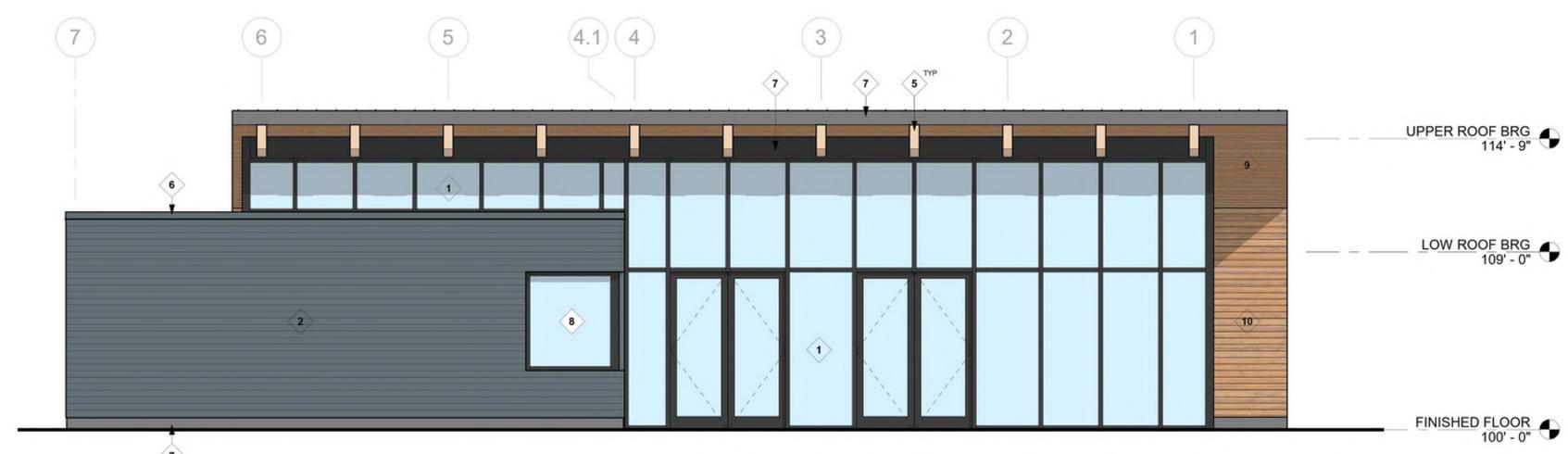
DRAWING NUMBER  
**a2.1**



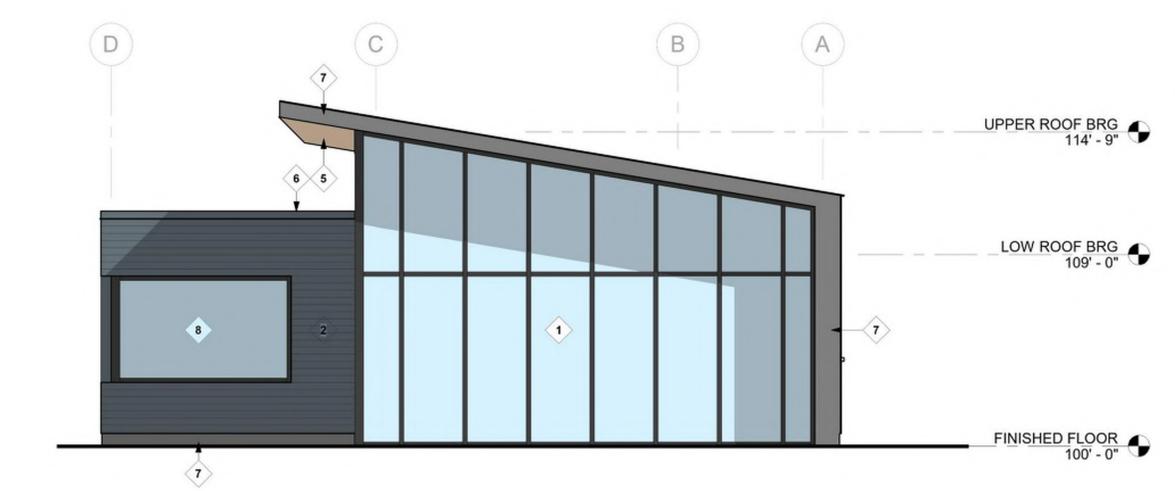
4 WEST ELEVATION  
1/4" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

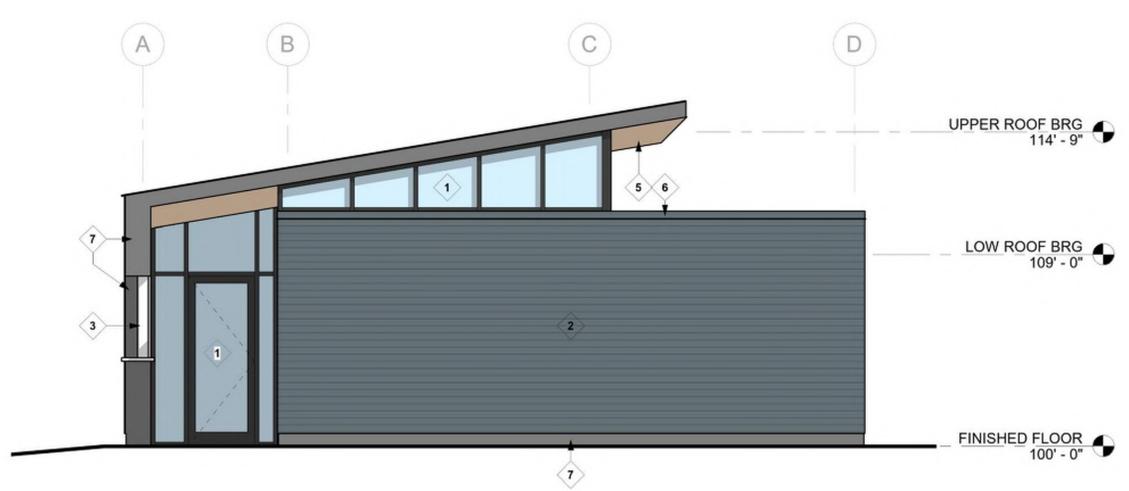
Number	Description
1	6" THERMALLY-BROKEN ANODIZED ALUMINUM CURTAIN WALL
2	CEMENT BOARD SIDING
3	EXPOSED STRUCTURAL COLUMN
4	STANDING SEAM METAL PANEL
5	EXPOSED LVL FRAMING -STAINED AND SEALED
6	PREFINISHED BREAK METAL COPING
7	PREFINISHED BREAK METAL CLOSURE PANEL
8	4" THERMALLY-BROKEN ANODIZED ALUMINUM STOREFRONT
9	T&G STRUCTURAL WOOD DECK
10	T&G WOOD SIDING - PROFILE TO MATCH STRUCTURAL DECK ABOVE



2 EAST ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"



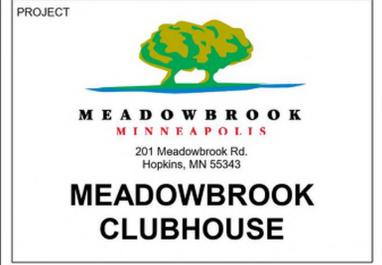
3 SOUTH ELEVATION  
1/4" = 1'-0"



I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.  
 Title: XXXX  
 By: \_\_\_\_\_  
 Date: XXXX  
 Registration Number: XXXX



REVISION	DATE	DESCRIPTION	BY



DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DRAWING NUMBER  
**a3.1**

3/23/2021 1:48:05 PM C:\Users\lcm\Documents\2072 MPRB Meadowbrook Clubhouse\_HC\Arch\vt

I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.  
Title: XXXX  
By: \_\_\_\_\_  
Date: XXXX  
Registration Number: XXXX

REVISION	DATE	DESCRIPTION	BY



**MATERIAL:**

- TONGUE AND GROOVE STRUCTURAL WOOD DECK

**LOCATION:**

- UNDERSIDE OF SHED ROOF

**NOTE:**

- BACK WALL OF LOUNGE AREA FINISHED TO MATCH



**MATERIAL:**

- STANDING SEAM METAL ROOF & SIDING

**LOCATION:**

- EXTERIOR OF SHED ROOF VOLUME

**COLOR:**

- DARK GRAY



**MATERIAL:**

- 4" HARDIE BOARD LAP SIDING

**LOCATION:**

- EXTERIOR OF LOW VOLUME

**COLOR:**

- OCEAN BLUE OR SIM

**NOTE:**

- COLOR OF PARAPET CAP TO MATCH

1 MATERIALS SAMPLES & EXAMPLES  
1 1/2" = 1'-0"



**HAGEN, CHRISTENSEN & MCILWAIN**  
ARCHITECTS

4201 CEDAR AVENUE, SUITE 500, MINNEAPOLIS, MN 55407  
TEL: (612) 954-1332 FAX: (612) 954-7386

CIVIL

**LOUCKS**

STRUCTURAL

**BKBM**  
ENGINEERS

MEP

**emanuelson-podas**  
consulting engineers

I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.

Title: XXXX  
By: \_\_\_\_\_  
Title: \_\_\_\_\_ Date: XXXX  
Registration Number: XXXX

**NOT FOR CONSTRUCTION**

CLIENT / LANDSCAPE

**Minneapolis**  
Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY

PROJECT

**MEADOWBROOK**  
MINNEAPOLIS

201 Meadowbrook Rd.  
Hopkins, MN 55343

**MEADOWBROOK**  
**CLUBHOUSE**

DRAWING TITLE

**EXTERIOR  
RENDERINGS**

DRAWING NUMBER

**a10.1**



**HAGEN, CHRISTENSEN & MCILWAIN**  
ARCHITECTS

4201 CEDAR AVENUE, SUITE 200, MINNEAPOLIS, MN 55407  
TEL: (612) 954-1332 FAX: (612) 954-7386

CIVIL

**LOUCKS**

STRUCTURAL

**BKBM**  
ENGINEERS

MEP

**emanuelson-podas**  
consulting engineers

I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.  
 Title: XXXX  
 By: \_\_\_\_\_  
 Title: \_\_\_\_\_ Date: XXXX  
 Registration Number: XXXX

CLIENT / LANDSCAPE

**Minneapolis**  
Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY

PROJECT

**MEADOWBROOK**  
MINNEAPOLIS  
201 Meadowbrook Rd.  
Hopkins, MN 55343

**MEADOWBROOK**  
CLUBHOUSE

DRAWING TITLE

**EXTERIOR  
RENDERINGS**

DRAWING NUMBER

**a10.2**

## Community Input Survey Summary

Meadowbrook Golf Course Clubhouse Reconstruction Project

Survey Open: April 5, 2021 to April 20, 2021

### **Response Summary:**

The survey was sent digitally to email subscribers of the Meadowbrook Golf Course as well as mailed paper notices to surrounding neighbor property owners per requirements of the City of Hopkins. 63 survey responses and three emailed responses were collected and are attached.

Generally, the project is supported. Those that wished changes to the project were either out of scope (i.e. expand practice areas or install a driving range) or wished the project was larger. Those wishing it were a larger project hoped for indoor dining options, event space, or year-round use of the building.

Of the direct neighbors within Edina and Hopkins who responded, none expressed any opposition to the project. One in Edina living on the 10<sup>th</sup> fairway expressed support. Another directly south in Edina also expressed support but wanted clarity around lighting. A MPRB staff response to that neighbor is included. Another living near the course but not specifying a city, indicated support, but had questions about the vendor area. Those questions were answered by MPRB staff.

MPRB staff have found no negative responses that cause concern for the project.

### **Demographic Data:**

The majority respondents were from the 55343 zip code. Responses also came from the 55416 and 55345 zip codes.

The age of the respondents ranged from less than 17 years old to over 60. 43% were 60 and older, 25% were 50-59, 15% were 40-49, 15% were 30-39, 2% were 21-29.

92% of respondents own their own home, 7% rent, and 1% said they lived with their parent.

80% of respondents identify as male and 15% female.

90% of respondents were white, 2% Asian, and 2% of mixed race.



**MATERIAL:**  
 • STANDING SEAM METAL ROOF & SIDING  
 • LIGHT GRAY  
**LOCATION:**  
 • EXTERIOR OF SHED ROOF VOLUME  
**COLOR:**  
 • DARK GRAY



**MATERIAL:**  
 • 4" HARDIE BOARD LAP SIDING  
**LOCATION:**  
 • EXTERIOR OF LOW VOLUME  
**COLOR:**  
 • OCEAN BLUE OR SIM  
**NOTE:**  
 • COLOR OF PARAPET CAP TO MATCH



**MATERIAL:**  
 • TONGUE AND GROOVE STRUCTURAL  
 • WOOD DECK  
**LOCATION:**  
 • UNDER SIDE OF SHED ROOF  
**NOTE:**  
 • BACK WALL OF LOUNGE AREA FINISHED TO MATCH

1 MATERIALS SAMPLES & EXAMPLES  
 1.10.17.17.17



*Scan me with your phone's camera and take the survey!*



**We want your input!**  
 Share your thoughts on the project by filling out a survey in-person at the clubhouse now or online.



**From:** [Pederson, Tyler W.](#)  
**To:** [Andrea Humphrey](#)  
**Subject:** RE: [External]Meadowbrook Clubhouse Outdoor Dining  
**Date:** Tuesday, 13 April, 2021 4:29:00 PM

---

Hi Andrea,

Thanks for the note. I'll add in my answers in red below.

It's great to hear from a backyard neighbor! We want to be sure our project minimizes any impact to your home. Our project is pretty minimal due to budget and we hope the improvements are as welcoming to our neighbors as it is to our golfers. Please don't hesitate to reach out to me during the project or if you'd like more detail on my responses below. I'm happy to hear what you might be excited for and likewise what might be causing some trepidation.

Thanks,

Tyler Pederson, PLA  
Design Project Manager  
**Planning Division, Minneapolis Park and Recreation Board**  
2117 West River Road  
Minneapolis, MN 55418  
Mob: 612-499-9084  
he/him/his

---

**From:** Andrea Humphrey <aph7708@gmail.com>  
**Sent:** Tuesday, 13 April, 2021 1:45 PM  
**To:** Pederson, Tyler W. <TPederson@minneapolisparcs.org>  
**Subject:** [External]Meadowbrook Clubhouse Outdoor Dining

Good afternoon, Mr. Pederson,

I have recently reviewed the plans for the proposed Meadowbrook Clubhouse. As a close neighbor, I have questions regarding the Outdoor Dining proposed area:

1. C2-1 Site Plan:
  - a. This shows an L-shaped "screen wall – see Landscape" on the south and west sides of the Outdoor Dining area. Even though I checked the Landscape page (L1.1), I am unable to find the descriptions of the type of screen wall material and its height. Could you please provide or let me know where to find this information. **The screen wall height and material is not quite determined yet. But it will not be a tall blank wall, more likely a shorter concrete wall a few feet high. The wall is included to better separate the cart staging area from the vendor parking area. It'll be a neutral color.**
2. A10.2 Exterior Renderings:
  - a. These pages show a picnic table located to the NE of the annuals planter, a flat, gravel-

looking surface, but no other curb or screen wall, etc. as noted in the plans for Outdoor Dining. Where would I be able to find a rendering of what the Outdoor Dining area would actually look like? There are no renderings of what the outdoor patio area will look like. We have limited funds available for this project and are not able to produce renderings for each area. Generally, it'll be an open flat space with several picnic tables and seating options. There will be shade from the existing trees, plus a few new trees that will be planted. The surface of the patio area will be a crushed granite surface.

3. What are the plans for the "Vendor Area"?
  - a. Built-in grills, ovens? No grills or ovens, just space for a food vendor to pull their truck up and serve food and beverages. This will be open to the public, but it is not a public picnicking area.
  - b. Food trucks? We have a contract with the current food vendor for the next year. We will either renew with them or seek other vendors at that time. The space will be designed for a food truck to pull up and park against the screening wall and serve food there. Future plans may involve a second building that would house a bar and grill of some sort. The food truck space is the best we can do with the funding we currently have.
  - c. Temporary trailers such as the red trailer currently in this spot? That or a large food truck is what a vendor may use.
  - d. Where would I be able to find a rendering of what this Vendor Area would actually look like? We do not have a rendering of this area.
4. Would alcohol be served? Alcohol will continue to be served.
5. Times the Outdoor Dining area would be open Hours of operation would likely tail off at dusk as golfers head home. We don't see a lot of night time use of the patio space.
6. Pergola – would there be any structure built overhead of diners? There won't be any overhead structure above the outdoor patio space. The only overhead structure would be the pergola directly adjacent to the building, and shown in the rendering. There may be umbrellas over tables like you might see at most restaurant patios.
7. Lighting:
  - a. Will there be overhead lighting? Some, but most use here will be in the day light.
    - i. If so, what type of overhead lighting would there be? There will be lighting on the exterior of the building to brighten pathways, but not specifically to light the patios.
    - ii. How would lighting be attached? Poles? Connected to the pergola?, Attached to the "screen wall"? Lighting will be attached to the building.
    - iii. Which way would lighting be facing? Strictly downward? Any lighting would be focused downward. Most lights we currently install in the parks are night sky friendly, meaning it doesn't cast light upward to wash out stars or create distractions for birds and such. We don't want to light up the neighborhood!
    - iv. Height of the highest lights? Height of the highest light is about 10 feet perhaps. We want our lights to be low. We do not want it to look like a

Target parking lot

v. What days/hours would the lights be on? Any lights would be on timers and not operating all night long.

Thank you for your time and consideration. Meadowbrook is a wonderful local amenity; I, and many others, are happy it is being restored.

Andrea Humphrey  
4604 Annaway Drive  
Edina, MN 55436  
952-428-9026

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**From:** James Warden [<mailto:mechfv@hotmail.com>]

**Sent:** Thursday, April 08, 2021 11:42 AM

**To:** Kersten Elverum <[kerverum@hopkinsmn.com](mailto:kerverum@hopkinsmn.com)>; Mike Mornson <[mmornson@HOPKINSmn.com](mailto:mmornson@HOPKINSmn.com)>; Jason Gadd <[jgadd@HOPKINSmn.com](mailto:jgadd@HOPKINSmn.com)>; Brian Hunke <[bhunke@HOPKINSmn.com](mailto:bhunke@HOPKINSmn.com)>; Alan Beck <[abeck@hopkinsmn.com](mailto:abeck@hopkinsmn.com)>; Rick Brausen <[rbrausen@HOPKINSmn.com](mailto:rbrausen@HOPKINSmn.com)>; Kristi Halverson <[khalverson@HOPKINSmn.com](mailto:khalverson@HOPKINSmn.com)>

**Subject:** [EXTERNAL] Meadowbrook

Kersten, Mike and council:

I received an e-mail that had an update from the Minneapolis Parks & Recreation Board on the Meadowbrook project and a survey that people could fill out to share their thoughts:

- [https://www.minneapolisparcs.org/project\\_updates/online-survey-for-meadowbrook-golf-course-clubhouse-reconstruction/](https://www.minneapolisparcs.org/project_updates/online-survey-for-meadowbrook-golf-course-clubhouse-reconstruction/)

At 64 acres, I believe this is the largest untaxed parcel in the City of Hopkins. It's about 26 percent bigger than the combined Blake School properties, nearly four times as big as the Cold Storage site and bigger than any of Hopkins' parks. So we're in the odd position of having an entity that doesn't even have governing authority in Hopkins responsible for our single biggest tax capacity hit.

I could maybe see the logic if Minneapolis was providing a publicly accessible amenity that anyone could use at no cost, but Meadowbrook requires that people pay greens fees in order for people to use it. Parts are even fenced off from Hopkins. Hopkins is suffering the tax capacity hit without seeing any of the benefit of user fees that Minneapolis gets. This strikes me as profoundly unfair.

Has staff ever requested payments in lieu of taxes with the MPRB? Has the city ever considered conditioning any CUP or zoning changes on Minneapolis making Hopkins whole in some way? I think back to how Minneapolis threatened to oppose the SWLRT project unless it secured benefits for Kenilworth. Their willingness to be selfish paid off. I'm wondering if the Meadowbrook project provides the same opportunity for Hopkins to apply leverage for its own benefit.

I don't even think it would be out of line to stake out a firm position that ownership of Hopkins land by outside local government units is unwanted. It's one thing for the county, school district and watershed to own land since their boundaries actually cover Hopkins, but that is not the case for MPRB. Pressuring the board to divest itself of its Hopkins parcel is completely reasonable.

Thanks.

James Warden

**From:** [Monica Lee](#)  
**To:** [Pederson, Tyler W.](#)  
**Subject:** [External]question about Meadowbrook clubhouse  
**Date:** Saturday, April 10, 2021 12:04:30 PM

---

Hello,

I live pretty much \*on\* the course but no one in my household golfs. Would the food vendor area be open to the public or is this something that would only be accessible for paying golfers? It sounds cool either way, but if it was open to non-golfers to that would be even better.

Thanks!

Monica

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**From:** [Patrick Beddor](#)  
**To:** [Jason Lindahl](#)  
**Subject:** [EXTERNAL] Reply regarding Meadowbrook Clubhouse  
**Date:** Thursday, April 22, 2021 4:32:48 PM

---

Dear Jason Lindahl:

I received your letter regarding the City of Hopkins Planning & Zoning Commission public hearing surrounding the Minneapolis Park and Recreation Board to amend their conditional use permit to replace the temporary clubhouse at Meadowbrook Golf Course with a all season, permanent clubhouse.

After reviewing the timeline on the website, I am concerned my feedback is going to be too late for consideration. Regardless, I interpreted your request for comments is to solicit my opinion to improve the plan rather than to notify me - this is the plan and it will be accepted or rejected (and the decision is pretty much already made).

My comments are as follows:

I am not much of a golfer. Maybe two or three times per year for charity events or social gathering. It is not a passion of mine. Regardless, I am sure the clubhouse design will be fine for the typical golfer. However, there are several lost opportunities that are overlooked for the general population who could enjoy the same environment.

- 1.) Lost opportunity to share the beautiful surroundings of Meadowbrook Lake and Meadowbrook golf course with the general public. I would suggest a taller building with an observation deck overlooking the beautiful green landscape of the golf course and maybe provide a partial view of Meadowbrook Lake. The city of Hopkins is developed and doesn't have that kind of open, green landscape for the average joe to enjoy in any other fashion.
- 2.) Lost Opportunity to share the ambiance with a place to gather with quality food and spirits. Food trucks do not offer a consistent, a wide-variety, nor an overall healthy selection of menu items and drinks. However, a full-service restaurant and bar (maybe as part of the observation deck noted above) would be an inviting place for people who do not share the passion of golf but want to share in the environment enjoyed by passionate golfers.
- 3.) Lost Opportunity to include other social activities beyond golf. Such as bags, lawn bowling, croquet, etc. Again, this would be an inviting space to allow both golfers and non-golfers to enjoy the beautiful green environment of the golf course that requires little space.
- 4.) Lost Opportunity for Small to medium gatherings. The drawings does not indicate a all-season gather space. Business meeting rooms, an indoor entertainment area for someone or an organization to host a mid-size event - golf or non-golf related.

A few years ago, I attended a business gathering at the Brookview Golf Course's new at the time clubhouse in Golden Valley. Great menu, spirits and plenty of activities for a variety of people's interest. A very enjoyable place for both the golfer and the not-so-golfer, a guy like me. I would like

the Meadowbrook clubhouse to emulate it, just with a lot better views that we can all enjoy.

Again, I am sure the proposed clubhouse would be just fine for the typical golfer. But why wouldn't you want others to enjoy the area too? I would.

I hope my comments are viewed as both constructive and helpful. If you have any questions, please feel free to contact me at 952-912-1466.

Pat Beddor  
220 Ashley Rd  
Hopkins, MN 55343

**From:** [Rick Christensen](#)  
**To:** [Pederson, Tyler W.](#)  
**Subject:** [External]Meadowbrook Clubhouse  
**Date:** Wednesday, April 7, 2021 3:42:36 PM

---

Hi Tyler,

Thank you for sharing this, as an architect that has designed golf clubhouse's for 30 years I'm not sure I would love if my design was put out for public comment!

It's refreshing to see the space programming model you are using with the changes in the municipal golf industry.

My first was the Como Park Clubhouse followed by many private and public in 40 states including locally Bunker Hills and Keller.

Having been trained in modern architecture in the 1970's at the U of M, I found myself going to traditional architecture for most of my carrier with golf.

I still haven't been comfortable with the "new modern look" that's come out in the last 10 years especially related to such a traditional game.

Hope the project is a success!

Thanks

Rick

**RICK CHRISTENSEN, RA, NCARB**  
SENIOR PROJECT DIRECTOR

651.600.5658 (mobile)  
612.295.0725 (direct)

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PLANNING / ARCHITECTURE / INTERIOR DESIGN / PROCUREMENT

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**CITY OF HOPKINS**  
**Hennepin County, Minnesota**

**RESOLUTION 2020-017**

**A RESOLUTION APPROVING AN AMENDMENT TO THE EXISTING CONDITIONAL USE PERMIT  
FOR MEADOWBROOK GOLF COURSE ALLOWING THE CONTINUED OPERATION OF A  
TEMPORARY CLUBHOUSE**

**WHEREAS**, the applicant, the Minneapolis Parks and Recreation Board (the “Applicant”), initiated an application to amend its existing conditional use permit (CUP) for Meadowbrook Golf Course to allow the continued operation of a temporary clubhouse at 201 Meadowbrook Road;

**WHEREAS**, the property is legally described as follows:

THAT PART OF MEADOWBROOK GOLF COURSE EMBRACED WITHIN THAT PART OF E 1/2  
OF SW1/4 OF SEC 20 T 117 R 21 LYING SLY OF CENTER LINE OF EXCELSIOR ROAD SUBJECT  
TO ROAD

**WHEREAS**, the procedural history of the application is as follows:

1. That the property has an existing conditional use permit issued in 1970 and amended in 1982;
2. That the City of Hopkins approved Resolution 2017-052 approving an amendment to the original conditional use permit allowing the placement and operation of a temporary clubhouse trailer on July 11, 2017.
3. That another application to amend the existing conditional use permit related to the temporary clubhouse trailer was initiated by the Applicant on February 21, 2020;
4. That the City of Hopkins sent the applicant a letter on March 23, 2020 extending the review period for this application an additional 60 days due to the ongoing coronavirus pandemic and the statewide emergency declaration related to the same.
5. That the City Council, pursuant to published and mailed notice, held a public hearing and reviewed such application on April 21, 2020: all persons present were given an opportunity to be heard;
6. That the written comments and analysis of City staff were considered; and,

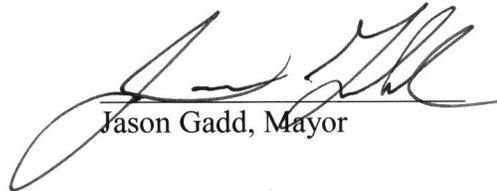
**WHEREAS**, staff recommended approval of the conditional use permit amendment based on the findings outlined in City Council Report 2020-024 dated April 21, 2020.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Hopkins hereby approves an amendment to the existing conditional use permit for Meadowbrook Golf Course allowing a temporary clubhouse trailer at 201 Meadowbrook Road, subject to the conditions listed below.

1. The Applicant shall enter into a new development agreement with the City which meets all City requirements, and the Applicant shall further meet all of its obligations contained in said development agreement.
2. The Applicant shall obtain any required building permits for the temporary clubhouse and conform with all conditions.
3. The Applicant shall conform with the building and fire codes.
4. The Applicant shall conform with all conditional use permit standards in Chapter 102, Article III, Section 102-94.O, and the specific conditions for outdoor recreation areas outlined in Chapter 102, Article V, Section 102-163(a)(2)
5. The temporary clubhouse shall be removed by November 1, 2021, or upon construction of a new permanent clubhouse, whichever comes first.
6. The Applicant shall receive all necessary approvals for a new permanent golf clubhouse on the Meadowbrook Golf Course Prior to November 1, 2021.
7. The Applicant shall submit a \$20,000 cash security to the City as detailed in the development agreement.
8. The temporary clubhouse shall be connected to City sewer and water utilities.

9. The Applicant shall comply with all applicable liquor licensing requirements.
10. The Applicant shall comply with all applicable requirements for the operation of a food truck.
11. The Applicant shall pay the City all applicable fees associated with its application, including legal fees.
12. The Applicant shall agree to pay the special assessments associated with the City's Interlachen Park Street and Utility Improvement Project in the amount the City determines the Meadowbrook property is benefitted from said project.
13. This conditional use permit expires one year after it has been issued unless the use for which the permit has been granted is in effect.
14. Once established, if a use granted by conditional use permit ceases to operate for six months, the conditional use granted for that property will expire.

Adopted this 21<sup>st</sup> day of April 2020.



Jason Gadd, Mayor

ATTEST:



Amy Domeier, City Clerk



### **BACKGROUND**

In 2020, the City of Minnetonka made a request to Hopkins for a concurrent detachment and annexation. This request involved a portion of the vacant property at 2 Shady Oak Road in Hopkins and the entire property at 11524 Excelsior Boulevard in Minnetonka. The purpose of this request was to facilitate redevelopment of the former Shady Oak Crossings retail center at 4312 Shady Oak Road. The annexation of a portion of 2 Shady Oak Road into Minnetonka allowed that property to be combined with the property directly to the north at 4312 Shady Oak Road to create a larger redevelopment parcel in Minnetonka. In exchange, the City of Hopkins received the property at 11524 Excelsior Boulevard which include a 2,000 square foot commercial building currently housing a Subway sandwich shop and a Farmers insurance office. When properties are annexed into Hopkins, they must be assigned a future land use and zoning classification. This application facilitates that process.

**Planning & Zoning Commission Action.** The Planning & Zoning Commission reviewed this item (Planning Application 2021-05) during their April 27, 2021 meeting. During the meeting, the Commission heard a presentation from staff and held a public hearing that produced no direct comments. Prior to the public hearing the City did receive two comments on this item. These comments came from Lowell Zizloff (owner of 11525 Excelsior Boulevard, Minnetonka) and a representative Marilyn Johnson (owner of 140 20th Avenue South, Hopkins). Both had general questions about the application and supported the proposed changes. The Planning & Zoning Commission had general discussion of the findings in the staff report and comments from the public before approving a motion recommending the City Council approve this application.

**Legal Authority.** This request includes a Comprehensive Plan amendment and rezoning. Both of these applications are considered legislative actions, meaning that the City is formulating public policy and zoning standards to regulate the type of development it desires. Under the law, the City has wide flexibility to create standards that will ensure the type of development it desires.

The City may amend the Comprehensive Plan after a public hearing before the Planning & Zoning Commission and a two-thirds majority vote by the City Council. These applications also require notification to the surrounding communities and approval by the Metropolitan Council. The rezoning application may be approved by a majority vote of the City Council.

### **COMPREHENSIVE PLAN AMENDMENT**

The City adopted the 2040 Comprehensive Plan – Cultivate Hopkins in November of 2020. This document includes the Future Land Use Map, which details the land use designations for each property in the community. When properties are annexed into the community, they come in without a land use designation and one must be assigned. After reviewing the Comprehensive Plan and consulting with the property owner about their future intention for the property, staff recommends assigning a future land use designation of Neighborhood Center. The 2040 Comprehensive Plan details development characteristics for the Neighborhood Center future land use category and a summary of these is provided below.

**Location.** Located at major intersections that serve as gateways into adjacent neighborhoods.

Development Type. Accommodate forecasted population and employment growth while also serving as a defining place for basic retail, service and entertainment needs.

Urban Form. Mixed use (horizontal or vertical) and pedestrian oriented character. High quality design, pedestrian and bicycle facilities and thoughtful use of open space will be important to create a vibrant and unique center that enhances and connects with the surrounding neighborhood it serves.

Density & Scale. Smaller scale retail with neighborhood serving uses. Densities in this area typically range from 20-50 units per acre. Estimated 25% commercial and 75% residential.

Staff finds the Neighborhood Center category is the most appropriate future land use designation based on future land use designation of the adjacent commercial property along Shady Oak Road from Mainstreet to Excelsior Boulevard, the property's location within ½ mile of the Shady Oak Road future light rail station and the intended future use of the property.

State law requires local governments to inform surrounding communities of any comprehensive plan amendments and allow a 60-day comment period. The City will distribute notice of the proposed Comprehensive Plan amendment to surrounding local governments after action by the Planning & Zoning Commission. All comments received within the 60-day review period will be included with the formal Comprehensive Plan amendment application submitted to the Met Council after final action by the City Council.

#### **Primary Issues to Consider – Rezoning**

There are four key criteria for the City to weigh when considering a rezoning request. These criteria and staff's findings for each are outlined below. As with the future land use designation, the subject property was recently annexed from Minnetonka into Hopkins and does not have a zoning classification. Staff recommends assigning a B-3, General Business District zoning classification based on the proposed Neighborhood Center future land use designation, the property's location within ½ mile of the future Shady Oak Road light rail station and the intended future use of the property. It should be noted that assigning the B-3 District classification to this property is based on the existing zoning regulations. This site will be re-evaluated in the future as part of the on-going Zoning Regulations Update Project and assigned an appropriate classification based on the new zoning regulations.

**Consistency with the Comprehensive Plan.** The proposed B-3, General Business District zoning classification is generally consistent with the goals and policies of the 2040 Comprehensive Plan as detailed above. While the subject property contains a small-scale neighborhood serving commercial use, it should be acknowledged that it lacks the residential/commercial mix called for by the Neighborhood Center future land use category. The Zoning Regulations Update Project will consider zoning standards to encourage the mixed use development called for in the 2040 Comprehensive Plan.

**Compatibility with Present and Future Land Uses.** The subject property is compatible with surrounding present and future land uses. The subject property contains an approximately 2,000 square foot single story commercial building and accessory 30-stall surface parking lot. This use is generally consistent with the surrounding present and future land uses detailed in the table below.

<b>Present and Future Land Uses Surrounding 11524 Excelsior Boulevard</b>			
<b>Direction</b>	<b>Present Land Use</b>	<b>Future Land Use</b>	<b>Status</b>
North (Hopkins)	Commercial & Single Family Residential	Neighborhood Center & Traditional Urban	Compatible
South (Minnetonka)	Commercial	Mixed Use	Compatible
East (Hopkins)	Single Family Residential	Traditional Urban	Compatible
West (Minnetonka)	Commercial	Commercial	Compatible

**Conformance with New Zoning Standards.** While staff does not have all the information necessary to conduct a comprehensive site plan review. However, the existing commercial building generally conforms to the standards of the B-3 District (see table below). Any non-conformities resulting from the annexation and rezoning process would be considered legal non-conformities. Legal non-conforming items are address in the Non-Conformities section below.

<b>B-3 Zoning Standards Comparison</b>			
<b>Category</b>	<b>Standard</b>	<b>Existing Condition</b>	<b>Status</b>
Lot Size	3,000 sq. ft.	20,342 sq. ft.	Conforming
Lot Width	50'	80'	Conforming
Front Setback	20'*	30'	Conforming
Side Setback	10'*	20'/0'	Non-Conforming
Rear Setback	30'**	159'	Conforming
Building Height	25'	12'	Conforming
Building Material	Compatible in detail, texture and color to adjacent and neighboring structures	Brick, glass and stucco	Conforming
Off-Street Parking	Retail = 1/200 sq. ft. = 7 Office = 1/250 sq. ft.= 3	30 stalls	Conforming

*\*Setback for properties adjacent to a state or county road*

*\*\*Setback for properties adjacent to residential*

**Availability of Utilities.** The subject property is connected to municipal water and sewer services as required by the City.

**Non-Conformities.** According to Minnesota Statute 462.357, Subdivision 1e., legal non-conformities generally have a statutory right to continue through repair, replacement, restoration, maintenance, or improvement, but not through expansion. These rights run with the land and are not limited to a particular landowner. If the benefited property is sold, the new owner will have the same rights as the previous owner. However, it should be noted that by statute, the City may prohibit any nonconformity that ceases for a period of more than one year.

**ALTERNATIVES**

1. Vote to Approve. By voting to approve comprehensive plan amendment and rezoning, the subject property will be assigned a future land use designation of Neighborhood Center (subject to approval by the Metropolitan Council) and a second reading on the ordinance rezoning the property to B-3, General Business will be scheduled for the May 18, 2021 City

Council meeting. The comprehensive plan amendment requires a 4/5 vote for approval while the rezoning only requires a majority vote.

2. Voting to Deny. By voting to deny the comprehensive plan amendment and rezoning, the recently annexed property will remain without future land use or zoning designations. Should the City Council consider this option, it must also identify specific findings that support this alternative.
3. Continue for further information. If the City Council finds that further information is needed, the items should be continued.

**Site Location Map for 11524 Excelsior Boulevard**



**CITY OF HOPKINS**  
**Hennepin County, Minnesota**

**RESOLUTION 2021-023**

**RESOLUTION APPROVING A COMPREHENSIVE PLAN AMENDMENT ESTABLISHING  
THE FUTURE LAND USE DESIGNATION FOR THE PROPERTY LOCATED AT 11524  
EXCELSIOR BOULEVARD (PID 23-117-22-44-0160) AS NEIGHBORHOOD CENTER,  
SUBJECT TO CONDITIONS**

**WHEREAS**, the City of Hopkins initiated a comprehensive plan amendment application to establish the future land use classification for the property annexed from the City of Minnetonka into Hopkins located at 11524 Excelsior Boulevard (23-117-22-44-0160) as Neighborhood Center; and,

**WHEREAS**, the subject property is legally described as follows:

11524 Excelsior Boulevard (PID 23-117-22-44-0160)

TRACT F RLS NO 0610 ALSO THAT PART OF SE 1/4 OF SE 1/4 OF SEC 23 T 117 R 22 LYING W OF A LINE RUN PAR WITH AND 1165.2 FT W FROM E LINE THOF AND LYING S OF N 263 FT OF THAT PART OF SAID SE 1/4 OF SE 1/4 DESC AS COM AT PT OF INTER OF NLY LINE OF ABANDONED R/W OF CHIC MIL & ST PAUL RR CO AND A LINE RUN PAR WITH AND 660 FT W FROM E LINE OF SAID SE 1/4 OF SE 1/4 TH N ON SAID PAR LINE 310.3 FT TH W AT RIGHT ANGLES 366.8 FT TO PT OF BEG TH CONT W ALONG LAST DESC LINE 306.8 FT TO W LINE OF SAID SE 1/4 OF SE 1/4 TH S 358.2 FT TO NLY LINE OF SAID RR R/W TH ELY ALONG SAID R/W LINE TO ITS INTER WITH A LINE RUN SLY PAR WITH E LINE OF SAID SE 1/4 OF SE 1/4 FROM PT OF BEG TH N TO BEG EXCEPT ROAD, UNPLATTED 23 117 22

**WHEREAS**, the procedural history of the application is as follows:

1. That an application to establish the future land use designation upon the property described above was initiated by the City of Hopkins on March 26, 2021; and
2. That the Hopkins Zoning and Planning Commission, pursuant to mailed and published notice, held a public hearing on the application and reviewed such application on April 27, 2021 and all persons present were given an opportunity to be heard; and,
3. That the written comments and analysis of City staff were considered; and
4. That the City Council of the City of Hopkins reviewed this item during their May 4, 2021 meeting and agreed with the findings of the Planning & Zoning Commission.

**WHEREAS**, staff recommended approval of the above stated application based on the findings outlined in the City Council Report 2021-047 dated May 4, 2021.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Hopkins hereby approves a comprehensive plan amendment establishing the future land use designation for the property located at 11524 Excelsior Boulevard (PID 23-117-22-44-0160) as B-3, General Business District, subject to:

1. Approval of the comprehensive plan amendment by the Metropolitan Council.

Adopted this 4<sup>th</sup> day of May 2021.

ATTEST:

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Jason Gadd, Mayor

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Amy Domeier, City Clerk

**CITY OF HOPKINS**  
**Hennepin County, Minnesota**

**RESOLUTION 2021-024**

**RESOLUTION APPROVING THE FIRST READING OF ORDINANCE 2021-1168  
ESTABLISHING THE ZONING CLASSIFICATION FOR THE PROPERTY LOCATED AT  
11524 EXCELSIOR BOULEVARD (PID 23-117-22-44-0160) AS B-3, GENERAL BUSINESS  
DISTRICT**

**WHEREAS**, the City of Hopkins initiated an application to establish the zoning classification for the property annexed from the City of Minnetonka into Hopkins located at 11524 Excelsior Boulevard (23-117-22-44-0160) as B-3, General Business District; and,

**WHEREAS**, the subject property is legally described as follows:

11524 Excelsior Boulevard (PID 23-117-22-44-0160)

TRACT F RLS NO 0610 ALSO THAT PART OF SE 1/4 OF SE 1/4 OF SEC 23 T 117 R 22 LYING W OF A LINE RUN PAR WITH AND 1165.2 FT W FROM E LINE THOF AND LYING S OF N 263 FT OF THAT PART OF SAID SE 1/4 OF SE 1/4 DESC AS COM AT PT OF INTER OF NLY LINE OF ABANDONED R/W OF CHIC MIL & ST PAUL RR CO AND A LINE RUN PAR WITH AND 660 FT W FROM E LINE OF SAID SE 1/4 OF SE 1/4 TH N ON SAID PAR LINE 310.3 FT TH W AT RIGHT ANGLES 366.8 FT TO PT OF BEG TH CONT W ALONG LAST DESC LINE 306.8 FT TO W LINE OF SAID SE 1/4 OF SE 1/4 TH S 358.2 FT TO NLY LINE OF SAID RR R/W TH ELY ALONG SAID R/W LINE TO ITS INTER WITH A LINE RUN SLY PAR WITH E LINE OF SAID SE 1/4 OF SE 1/4 FROM PT OF BEG TH N TO BEG EXCEPT ROAD, UNPLATTED 23 117 22

**WHEREAS**, the procedural history of the application is as follows:

1. That an application to establish the zoning classification upon the property described above was initiated by the City of Hopkins on March 26, 2021; and
2. That the Hopkins Zoning and Planning Commission, pursuant to mailed and published notice, held a public hearing on the application and reviewed such application on April 27, 2021 and all persons present were given an opportunity to be heard; and,
3. That the written comments and analysis of City staff were considered; and
4. That the City Council of the City of Hopkins reviewed this item during their May 4, 2021 meeting and agreed with the findings of the Planning & Zoning Commission.

**WHEREAS**, staff recommended approval of the above stated application based on the findings outlined in the City Council Report 2021-047 dated May 4, 2021.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Hopkins hereby approves the first reading of Ordinance 2021-1168 establishing the zoning classification for the property located at 11524 Excelsior Boulevard (PID 23-117-22-44-0160) as B-3, General Business District, subject to:

1. Approval of the associated comprehensive plan amendment.

Adopted this 4<sup>th</sup> day of May 2021.

ATTEST:

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Jason Gadd, Mayor

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Amy Domeier, City Clerk

**CITY OF HOPKINS**  
**Hennepin County, Minnesota**

**ORDINANCE NO. 2021-1168**

**AN ORDINANCE ESTABLISHING THE ZONING CLASSIFICATION FOR THE  
PROPERTY LOCATED AT 11524 EXCELSIOR BOULEVARD (PID 23-117-22-44-0160)  
AS B-3, GENERAL BUSINESS DISTRICT**

THE COUNCIL OF THE CITY OF HOPKINS DOES HEREBY ORDAIN AS FOLLOWS:

1. That there was no present zoning classification upon the following described property annexed from Minnetonka into Hopkins, which is hereby assigned a zoning classification of B-3, General Business District.
2. That the legal description of the property to be rezoned is as follows:

11524 Excelsior Boulevard (PID 23-117-22-44-0160)

TRACT F RLS NO 0610 ALSO THAT PART OF SE 1/4 OF SE 1/4 OF SEC 23 T 117 R 22

LYING W OF A LINE RUN PAR WITH AND 1165.2 FT W FROM E LINE THOF AND LYING S OF N 263 FT OF THAT PART OF SAID SE 1/4 OF SE 1/4 DESC AS COM AT PT OF INTER OF NLY LINE OF ABANDONED R/W OF CHIC MIL & ST PAUL RR CO AND A LINE RUN PAR WITH AND 660 FT W FROM E LINE OF SAID SE 1/4 OF SE 1/4 TH N ON SAID PAR LINE 310.3 FT TH W AT RIGHT ANGLES 366.8 FT TO PT OF BEG TH CONT W ALONG LAST DESC LINE 306.8 FT TO W LINE OF SAID SE 1/4 OF SE 1/4 TH S 358.2 FT TO NLY LINE OF SAID RR R/W TH ELY ALONG SAID R/W LINE TO ITS INTER WITH A LINE RUN SLY PAR WITH E LINE OF SAID SE 1/4 OF SE 1/4 FROM PT OF BEG TH N TO BEG EXCEPT ROAD, UNPLATTED 23 117 22

First Reading:	May 4, 2021
Second Reading:	May 18, 2021
Date of Publication:	May 27, 2021
Date Ordinance Takes Effect:	May 27, 2021

ATTEST:

\_\_\_\_\_  
Jason Gadd, Mayor

\_\_\_\_\_  
Amy Domeier, City Clerk



STATE OF MINNESOTA  
OFFICE OF ADMINISTRATIVE HEARINGS

In the Matter of the Concurrent Detachment  
and Annexation of Certain Real Property from  
the City of Hopkins to the City of Minnetonka  
(MBAU Docket D-616/A-8263)

**ORDER APPROVING  
CONCURRENT DETACHMENT  
AND ANNEXATION**

City of Hopkins Resolution No. 2020-022/City of Minnetonka Resolution No. 2020-022 (Joint Resolution) for concurrent detachment and annexation was adopted by the City of Hopkins (Hopkins) on May 5, 2020, and the City of Minnetonka (Minnetonka) on February 24, 2020, requesting the concurrent detachment from Hopkins and annexation to Minnetonka of certain real property (Property) legally described as follows:

That part of the West Half of the Southeast Quarter of Section 23, Township 117 North, Range 22 West, Hennepin County, Minnesota being described as follows:

All that portion of the tract or parcel of land described as Paragraph "A" below, which lies Southerly of a line drawn parallel to and 200 feet Southerly of the North line thereof and the same extended, to wit:

Paragraph "A"; That portion of the West Half of the Southeast Quarter of Section 23, Township 117 North, Range 22 West of the 5th Principal Meridian, described as follows: Starting at the Northeast corner of the Southwest Quarter of the Southeast Quarter of said Section, thence South along the East line of the West half of the Southeast Quarter of said Section, a distance of 300 feet, thence Westerly at right angles to said East line for a distance of 284 feet; thence Northerly along a line parallel to said East line a distance of 600 feet; thence Easterly along a line at right angles to said East line 209 feet to the center line of McGinty Road; thence Southeasterly along the center line of McGinty Road to the East line of the West Half of the Southeast Quarter of said Section 23; thence Southerly along said East line 33.5 feet to the point of beginning.

Which are described as follows:

Parcel A: The West 109.00 feet of the North 139.00 feet.

Parcel B: That part of the North 158.00 feet thereof lying East of the West 109.00 feet thereof.

Together with an easement for driveway and parking purposes over, under and cross that part of Lot 22, Block 1, Oak Ridge 2nd Addition, lying

Northeasterly of a line, and its extensions, drawn from the Southeast corner of said lot to a point on the Northwesterly line of said lot distant 120 feet Southwesterly, measured along said Northwesterly line, from the most Northerly corner of said lot, as contained in deed Doc. No. 966456; (See Order Doc. No. 1053666)

Which lies northeasterly of the following described line:

Commencing at the northeast corner of Lot 23, Block 1, OAK RIDGE 2ND ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota; thence South 03 degrees 27 minutes 33 seconds West, along the east line of said Lot 23, a distance of 10.00 feet to the point of beginning of the line to be described; thence South 86 degrees 32 minutes 27 seconds East a distance of 23.56 feet to the point of beginning of the line to be described; thence South 03 degrees 27 minutes 33 seconds West a distance of 18.99 feet; thence southeasterly 113.10 feet along a tangential curve concave to the northeast having a radius of 70.00 feet and central angle of 92 degrees 34 minutes 30 seconds; thence South 89 degrees 06 minutes 57 seconds East a distance of 40.85 feet; thence South 78 degrees 08 minutes 08 seconds East a distance of 140.43 feet, more or less, to the east line of said West Half of the Southeast Quarter and there terminating.

Based upon a review of the Joint Resolution, the Administrative Law Judge makes the following:

**ORDER**

1. Pursuant to Minn. Stat. § 414.061 (2018), the Joint Resolution is deemed adequate in all legal respects and properly supports this Order.
2. Pursuant to the terms of the Joint Resolution and this Order, the Property is concurrently **DETACHED** from Hopkins and **ANNEXED** to Minnetonka.

Dated: June 19, 2020

  
JESSICA A. PALMER-DENIG  
Administrative Law Judge

## **NOTICE**

This Order is the final administrative order in this case under Minn. Stat. §§ 414.061, .07, .09, .12 (2018). Pursuant to Minn. Stat. § 414.07, subd. 2, any person aggrieved by this Order may appeal to Hennepin County District Court by filing an Application for Review with the Court Administrator within 30 days of this Order. An appeal does not stay the effect of this Order.

Any party may submit a written request for an amendment of this Order within seven days from the date of the mailing of the Order pursuant to Minn. R. 6000.3100 (2019). However, no request for amendment shall extend the time of appeal from this Order.

**City of Hopkins  
Resolution No. 2020-023**

**City of Minnetonka  
Resolution No. 2020-026**

**JOINT RESOLUTION REQUESTING CONCURRENT DETACHMENT FROM MINNETONKA  
AND ANNEXATION TO HOPKINS OF CERTAIN LANDS PURSUANT TO MINNESOTA  
STATUTES SECTION 414.061**

**WHEREAS**, certain real property, approximately 0.46 acres in size, legally described and depicted on Exhibit A attached hereto and incorporated herein and depicted on the survey thereof attached hereto and incorporated herein as Exhibit A (the "Annexation Property") is located in the City of Minnetonka; and

**WHEREAS**, the city of Minnetonka desires to transfer this property into the city of Hopkins in a "land swap" between the two cities; and

**WHEREAS**, the Annexation Property has a street address of 11524 Excelsior Blvd., Minnetonka, MN and a tax parcel number of 23-117-22-44-0160; and

**WHEREAS**, the City of Minnetonka and the City of Hopkins desire to detach the Annexation Property from Minnetonka and annexing the Annexation Property to Hopkins; and

**WHEREAS**, the City of Minnetonka and the City of Hopkins desire to modify their respective boundaries by detaching the Annexation Property from the City of Minnetonka and annexing the Annexation Property to the City of Hopkins pursuant to Minnesota Statutes Section 414.061.

**NOW, THEREFORE, BE IT RESOLVED:**

1. The City of Hopkins and the City of Minnetonka jointly request that the Office of Administrative Hearings – Municipal Boundary Adjustment concurrently detach the Annexation Property from the City of Minnetonka and annex the same to the City of Hopkins at the earliest possible date.
2. The city clerk for each city is directed to submit this Joint Resolution to the Office of Administrative Hearings – Municipal Boundary Adjustments for the purposes set forth herein.
3. The City of Hopkins and the City of Minnetonka agree that, within 30 days of receipt of this Resolution, passed and adopted by each party, the Office of Administrative Hearings – Municipal Boundary Adjustments, may review and comment, but shall order the concurrent detachment and annexation consistent with the terms of this Resolution.
4. The City of Minnetonka is responsible for all costs associated with processing this Resolution, including reimbursement of reasonable attorney's fees incurred by the City of Hopkins.

5. The City of Minnetonka and City of Hopkins will not submit this Resolution to the Office of Administrative Hearings – Municipal Boundary Adjustments until the City of Minnetonka has granted final land use and financing approvals for the Shady Oak Crossings residential development project.

6. This Resolution is conditioned upon approval of the concurrent detachment/annexation Resolution for the 2 Shady Oak Rd. property also requested by the city of Minnetonka and city of Hopkins.

Adopted by the City Council of the City of Minnetonka on Feb. 24, 2020.

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Brad Wiersum, Mayor

**ATTEST:**

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Becky Koosman, City Clerk

**Action on this resolution:**

Motion for adoption: Kirk

Seconded by: Schack

Voted in favor of: Kirk, Schack, Carter, Calvert, Schaeppi, Coakley, Wiersum

Voted against:

Abstained:

Absent:

Resolution adopted.

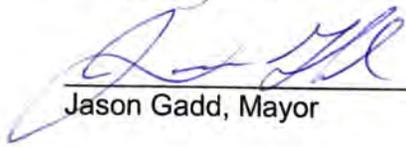
I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka at a meeting held on Feb. 24, 2020.

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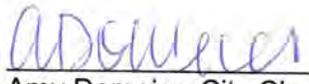
Becky Koosman, City Clerk

(Seal)

Passed and adopted by the City Council of the City of Hopkins on the 5<sup>th</sup> day of May, 2020.

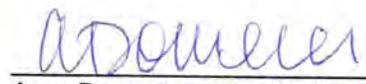
  
\_\_\_\_\_  
Jason Gadd, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Amy Domeier, City Clerk

**CERTIFICATION**

The undersigned, being the duly qualified Clerk of the City of Hopkins, hereby certifies the foregoing Resolution No. 20-04 is a true and correct copy of a resolution presented to and adopted by the Council of the City of Hopkins at a duly authorized meeting thereof held on the 5<sup>th</sup> day of May, 2020, as shown by the minutes of the aforesaid meeting in possession of the undersigned.

  
\_\_\_\_\_  
Amy Domeier, City Clerk

(Seal)

## EXHIBIT A

All that part of the following described portion of the Southeast Quarter of the Southeast Quarter of Section 23, Township 117, Range 22, lying west of a line drawn parallel with and 1165.2 feet measured at right angles from the east line of said Southeast Quarter of Southeast Quarter and lying south of the north 263 feet of said portion, which portion is bounded and described as follows: Beginning at a point where the northerly line of the abandoned right-of-way of the Chicago, Milwaukee & St. Paul Railway Company (later leased to and occupied by the Minneapolis, St. Paul & Suburban Railroad Company) as said right-of-way was located and constructed across said Southeast Quarter of Southeast Quarter of said Section 23, is intersected by a line parallel with and 660 feet West, measured at right angles from the East line of said Southeast Quarter of Southeast Quarter of said Section 23, running thence North on said parallel line 310.3 feet; thence West at right angles 366.8 feet to the actual point of beginning of the land to be described; thence continuing West on said last described right angle line 306.8 feet, more or less to the West line of said Southeast Quarter of Southeast Quarter of Section 23, thence South on said West line 358.2 feet, more or less to said northerly line of right-of-way; thence Easterly along said right-of-way line to its intersection with a line drawn parallel with and 1026.8 feet West from the East line of said Southeast Quarter; thence North parallel with said East line to the actual point of beginning.





May 4, 2021

Council Report 2021-031

**ORDINANCE AMENDING CHAPTER 2, ARTICLE IV OF THE HOPKINS CITY CODE REGARDING BOARDS, COMMISSIONS, COMMITTEES AND SIMILAR BODIES**

**Proposed Action**

Staff recommends adoption of the following motion: Move to adopt for first reading Ordinance 2021-1165 An Ordinance Amending Chapter 2, Article IV of the Hopkins City Code Regarding Boards, Commissions, Committees and Similar Bodies.

Adoption of the proposed ordinance will establish two additional seats on the Park Board, clarify the length terms created by vacated positions, and allow for the City Council to appoint non-voting student members.

**Overview**

A key council goal has been to increase representation throughout our organization, with a focus on Board and Commission members. It is vital to bring different perspectives to the table in order to make informed and inclusive decisions for the benefit of our entire community. Hopkins is an increasingly diverse community; 41.1% of the community identifying as non-white or Hispanic; 65% of homes are rental units; and 25.4% of our residents speak a language other than English at home.

The proposed ordinance is a step towards meeting the goals of the City Council by including amendments that allow for the following:

- Expanding representation on the Park Board from 5 to 7 members
- Clarifying the length of terms if a position is vacated
- Allowing for the appointment of non-voting student members

**Primary Issues to Consider**

- Establishing two additional seats to the Park Board will provide the City Council more opportunities to reach their increasing representation goal.
- Including youth representation to our boards and commissions will give the community's young people a voice in the operations and projects of their City.

**Supporting Documents**

- Proposed Ordinance 2021-1165

Ari Lenz, Assistant City Manager

Financial Impact: \$\_\_\_\_\_ Budgeted: Y/N \_\_\_\_ Source: \_\_\_\_\_

Related Documents (CIP, ERP, etc.): \_\_\_\_\_

**CITY OF HOPKINS  
COUNTY OF HENNEPIN**

**ORDINANCE 2021-1165**

**ORDINANCE AMENDING CHAPTER 2, ARTICLE IV OF THE HOPKINS CITY CODE  
REGARDING BOARDS, COMMISSIONS, COMMITTEES AND SIMILAR BODIES**

**WHEREAS**, Hopkins needs volunteers in order to succeed. The various boards and commissions of the City of Hopkins perform a vital role in the life of our community; and

**WHEREAS**, A key council goal has been to increase representation throughout our organization, with a focus on Board and Commission members. It is vital to bring different perspectives to the table in order to make informed and inclusive decisions for the benefit of our entire community.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF HOPKINS  
HEREBY ORDAINS AS FOLLOWS:**

**SECTION 1.** Section 2-68 of the Hopkins City Code is hereby amended to add the double underlined language and delete the ~~stricken~~ language as follows:

**Sec. 2-68. - Planning and zoning commission.**

- (a) *Establishment of the planning and zoning commission.* The planning and zoning commission is created and continued.
- (b) *Members; qualifications.* The commission shall consist of seven persons of which no less than six shall have been a resident of the city for one year or more on the date of appointment and up to two ex-officio non-voting youth members. At the sole discretion of the city council, one member may be a manager, owner or have substantial ownership stake in a business that is located within the corporate limits of the city. The commission shall also have one staff liaison to be appointed by the city manager. Each member except the staff liaison and ex-officio youth members shall have the right to vote on all matters before the commission. Members who discontinue legal residency in the city or fail to maintain the requirements eligible to serve as a business representative shall automatically be deemed to have resigned from the commission as of the date of such discontinuance.
- (c) *Terms.* Member terms of office shall be for two years. Three members of the commission shall be appointed on July 1 of each odd-numbered year and four shall be appointed on July 1 of each even-numbered year. Members appointed to complete a current term of office ~~shall be considered to have served a term of office if the appointment is to an office which is less than half completed. If the appointment is to an office which is more than half completed the appointment will not be considered a~~ term of office. Members shall serve no more than two consecutive terms of office.

The youth member(s) shall be 14 to 18 years old at the time of selection, serve a one-year term, and shall be eligible for reappointment if in good standing at the end of each term.

- (d) *Compensation.* The commission shall serve without compensation other than such compensation as its members may receive for other services performed for the city.
- (e) *Appointment.* The appointments shall be made by the ~~mayer with the approval of the council~~ the city council and any member of the commission may be removed by a majority vote of the council for misconduct or neglect of duties.
- (f) *Officers.* The commission shall elect a chairperson from among its members and such other officers as its bylaws may provide. The chairperson shall not be the business representative unless that member is also a resident of the city. The administrative assistant of the community development department shall act as secretary of the commission and the city attorney shall act as legal counsel for the commission.
- (g) *Bylaws.* The commission shall adopt bylaws governing its procedures.
- (h) *Duties.* The commission is the board of adjustment and appeals as provided in city zoning regulations and has the powers and duties assigned to it by the zoning code and by law.
- (i) *Advisory body.* The commission is advisory to the city council.

**SECTION 2.** Section 2-69 of the Hopkins City Code is hereby amended to add the double underlined language and delete the ~~stricken~~ language as follows:

**Sec. 2-69. – Park Board.**

- (a) *Established; members.* There is created and continued a park board for the city, consisting of ~~six~~ seven members to be appointed as follows: ~~one staff liaison to be appointed by the city manager for a term of one year; and five~~ seven members at-large, each to serve for no more than two consecutive terms of two years. ~~Three~~ Four of the at-large members of the board shall be appointed on July 1 of each odd-numbered year and the other ~~two~~ three at-large members, shall be appointed on July 1 of each even-numbered year. The commission shall also have one staff liaison to be appointed by the city manager. The membership also includes up to two ex-officio non-voting youth members. All appointments, except those otherwise hereinabove provided, shall be made by the ~~mayer with the approval of the council~~ city council. A member of the board may be removed by the ~~mayer with the approval of the council~~ city council for misconduct or neglect of duties. Each member except the staff liaison member and ex-officio youth members shall have the right to vote on all matters before the board.
- (b) *Compensation; term.* Members of the board serve without compensation and their respective terms of office shall expire at the end of the time for which they are appointed, not to exceed their term of office for which they have been elected to the respective governing bodies. A member who is appointed to fill a vacancy to a term ~~which is less than half completed shall be deemed to have served a full term of office.~~

~~If the appointment is to a term which is more than half completed, the appointment shall not be deemed to constitute a term of office for the purpose of calculating the maximum length of service allowed herein will not be considered a term of office.~~

- (c) *Officers, rules and meetings.* Immediately following appointment of and acceptance of such appointment by all members of the board, the board shall meet and/organize by electing such officers as may be necessary, and adopt such rules, by-laws and regulations for the conduct of its work as it deems necessary and advisable. The board shall meet at least once each quarter. Three members present at a regular or special meeting of the board shall constitute a quorum.
- (d) *Secretary.* The director of public works may, with the approval of the manager, serve as the executive officer of the board and may act as its secretary, in a relationship similar to that of the superintendent of schools to the board of education.
- (e) *Program, facilities and operation.* The board shall advise the council in conducting a public recreation program for the city and its immediate vicinity and to that end shall advise in the providing, conducting and supervising of recreation areas, facilities, services and programs for public recreation in its broadest sense, including playgrounds, parks, playfields, swimming pools, beaches, camps, indoor recreation centers and any and all other recreation facilities and activities either within or without the corporate limits of the city upon property under the custody and management of the city or on other public or private property with the consent of the owners of such property. The board shall advise the council in the operation of parks and recreation areas and facilities now owned or hereafter acquired by the city and may advise the city to enter into agreements of a cooperative nature with other public and private agencies, organizations or individuals when, in the judgment of the board, such procedure would prove advantageous.
- (f) *Reports and recommendations.* The board shall, annually on or before September 1, render a full report to the council covering its operation for the preceding 12 months, together with its recommendations and an estimate of the funds required for its work for the ensuing year. The board shall also render such other regular or special reports, advisory recommendations, or make such investigations as it deems advisable or as may be requested by the council.

**SECTION 3.** In accordance with Section 3.03 of the City Charter and Minn. Stat. § 412.191, subd. 4, due to the significant length of this Ordinance, City staff shall have the following summary printed in the official City newspaper in lieu of the complete ordinance:

On May 18, 2021, the Hopkins City Council adopted Ordinance 2021-1165 that amends Chapter 2 of the Hopkins City Code. The purpose of amending the City Code is to increase the number of Park Board Members from 6 to 8 and to clarify terms for Park Board and Planning and Zoning Commissioners.

A printed copy of the ordinance is available for inspection during regular business hours at Hopkins City Hall and is available online at the City's web site located at [www.hopkinsmn.com](http://www.hopkinsmn.com).

**SECTION 5.** The effective date of this ordinance shall be the date of publication.

First Reading:	May 4, 2021
Second Reading:	May 18, 2021
Date of Publication:	May 27, 2021
Date Ordinance Takes Effect:	May 27, 2021

By:

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Jason Gadd, Mayor

ATTEST:

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Amy Domeier, City Clerk